

**CHESTER BOROUGH LAND USE BOARD
AGENDA
OCTOBER 8, 2020
7:00 PM**

YOU ARE INVITED TO A ZOOM WEBINAR.

WHEN: OCT 8, 2020 07:00 PM EASTERN TIME (US AND CANADA)

TOPIC: OCTOBER LAND USE BOARD

REGISTER IN ADVANCE FOR THIS WEBINAR:

[HTTPS://US02WEB.ZOOM.US/WEBINAR/REGISTER/WN_KK9O8CWGSIU2MDDPU6_RSW](https://us02web.zoom.us/webinar/register/wn_kk9o8cwgsiu2mddpu6_rsw)

Webinar ID 884 9060 4440

**AFTER REGISTERING, YOU WILL RECEIVE A CONFIRMATION EMAIL CONTAINING INFORMATION ABOUT
JOINING THE WEBINAR.**

OR IPHONE ONE-TAP :

US: +19294362866,,84802601410# OR +13017158592,,84802601410#

OR TELEPHONE:

DIAL(FOR HIGHER QUALITY, DIAL A NUMBER BASED ON YOUR CURRENT LOCATION):

**US: +1 929 436 2866 OR +1 301 715 8592 OR +1 312 626 6799 OR +1 669 900 6833 OR +1 253 215 8782
OR +1 346 248 7799**

WEBINAR ID: 827 1946 6932 INTERNATIONAL NUMBERS AVAILABLE:

[HTTPS://US02WEB.ZOOM.US/U/KRTGT2AJG](https://us02web.zoom.us/j/82719466932)

CHESTER BOROUGH LAND USE BOARD

AGENDA

OCTOBER 8, 2020

7:00 PM

1. CALL TO ORDER

2. OPEN PUBLIC MEETINGS ACT

Adequate notice of this meeting of the Chester Borough Land Use Board was given as required by the "Open Public Meetings Act" as follows: notice was sent to the Observer Tribune and the Daily Record, posted on the bulletin board in the Borough Municipal Building and posted on the Borough website and filed with the Borough Clerk. The Land Use Board will hold a regular meeting by web-based platform providing remote access as the meeting will be open to the public remotely. Details for public participation will be posted on the website at chesterborough.org. Public can register at Zoom.us and to join: https://us02web.zoom.us/webinar/register/WN_KK9o8CWGSiu2mDdPu6_rSw
Webinar ID 884 9060 4440

In the event any member of the public cannot access the public file documents or exhibits, and/or cannot access the Zoom web-based virtual meeting room, they may contact the Board Secretary at kbrown@chesterborough.org or 908-879-3660 x 2123

3. SALUTE TO THE FLAG

4. ROLL CALL

Janet Hoven
Kerry Brown
Stan Stevinson
Anita Rhodes
Adam Sorchini
Stanley Quintana, Alternate #2

Chris Heil
Ken Kasper
Don Storms
Edd Creter
Michael Ferrone, Alternate #1

Steven Warner, Board Attorney
Steve Bolio, Board Engineer

David Banisch, Board Planner
Sarah Jane Noll, Recording Secretary

5. MINUTES

A. September 10, 2020

6. PUBLIC HEARING – LAND DEVELOPMENT APPLICATIONS

A. Christopher Harris 2020-07

11 Cedar Tree Lane Block 108, lot 13 Zoning R-LD (2 acre)

Variance application to expand existing deck and construct patio area

B. CPP Streets of Chester, LLC

160 US Hwy Route 206 South; Block 132, Lot 3, Zoning B-3 (historic overlay)

Amended site plan/variance application to erect two freestanding signs (material mailed)

7. RESOLUTIONS FOR ADOPTION

A. Chester Village Square – Benito's Trattoria

Amended site plan application/variance application to construct a 163 sf addition to rear of building and construct roof over existing patio area.

50 Main Street, Block 129, Lot 3

8. COMMUNICATION/DISCUSSION ITEMS
9. PUBLIC COMMENT
10. ADJOURNMENT

Chester Borough Shade Tree Commission

50 North Road, Chester, NJ 07930

Phone: 908-879-3660 Fax: 908-879-0122

DATE: September 14, 2020

TO: Chester Borough Land Use Board

FROM: Chester Borough Shade Tree Commission

RE: CPP STREETS OF CHESTER, LLC - Block 132, Lot 3
The Woodmont Company, Monument Sign Application

PLAN TITLE: Landscape Plan dated May 5, 2020

The Chester Borough Shade Tree Commission has prepared the following report based on a review of the above-referenced material.

The existing width of the proposed planting areas will allow for larger plants. By increasing the size of plant-material (proposed material is 24" wide or 24" tall) the landscaping would be in better proportion to the 32' x 9' signs and also be visible from Route 206. A mixture of leaved and needle evergreens, 4' to 6' high, would be preferable.

It appears larger plants would not be a sight line problem, but we defer to the Borough Engineer on this issue.

Dwarf Procumbent Juniper is essentially a ground cover and would have minimal visibility as proposed. Compact Inkberry has unfortunately been a short-lived plant at several locations in Chester and is therefore not recommended. Risks associated with monoculture already exists on site as an additional 76 Dwarf Procumbent Junipers and 25 Compact Inkberry were planted in 2019 when Starbucks moved to the mall.

General Landscape Note 20 only guarantees plant-material for 24 months and replacements for 90 days. Statement is required that all landscaping to remain after construction shall be maintained by the owner as approved. Suggested statement: "All landscaping shall be guaranteed by installer for one year and thereafter by the owner"

Plan proposes dark hardwood mulch. Natural hardwood mulch would conform with other mulch at the site and prevent the use of dyed mulch.

Please contact the Borough Construction Office if you have any questions or concerns. The next meeting of Shade Tree Commissions will be held on September 23, 2020 at 7pm.

Chester Borough Shade Tree Commission

50 North Road, Chester, NJ 07930

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BOROUGH OF CHESTER
50 NORTH ROAD
CHESTER NJ 07930
908-879-3660 X 2123

www.chesterborough.org

LAND USE DEVELOPMENT APPLICATION

Submission Date: _____

Application No.: _____

FOR OFFICE USE ONLY

TAXES PAID YES/NO _____ (INITIAL)

FEES \$ _____ PROJ. # _____

ESCROW \$ _____ ESCR. # _____

1. APPLICANT

Name: Christopher Harris
Address: 11 Cedar Tree Lane
City: Chester State: NJ Zip: 07930
Phone: (473) 879-5902 Fax: ()
Email: charris926@gmail.com
Interest in Property: Owner

2. OWNER

Name: Christopher Harris
Address: 11 Cedar Tree Lane
City: Chester State: NJ Zip: 07930
Phone: (473) 879-5902 Fax: ()
Email: Charris926@gmail.com

3. TYPE OF APPLICATION (check all that apply)

- ☐ Minor Subdivision
- ☐ Preliminary Major Subdivision ¹
- ☐ Final Major Subdivision
- ☐ Minor Site Plan
- ☐ Preliminary Major Site Plan ¹
- ☐ Final Major Site Plan
- ☐ Amended Plan
- ☐ Site Plan Waiver
- ☐ Concept Plan

- ☐ Interpretation ¹
- ☐ Appeal of Administrative Officer's Decision
- ☐ Certificate of Non-Conformity
- ☐ Use (d) Variance ¹
- ☒ Bulk (c) Variance ¹
- ☐ Conditional Use ¹
- ☐ Street Vacation Request
- ☐ Rezoning Request ¹
- ☐ Other: _____

¹ Legal advertisement and notice is required to all property owners within 200 feet.

4. ATTORNEY (A corporation, partnership, limited liability company or partnership must be represented by a New Jersey Attorney)

Name: N/A City: _____ State: _____ Zip: _____
Address: _____ Phone: () Fax: ()
Email: _____

5. APPLICANT'S PROFESSIONALS (Engineer, Surveyor, Planner, etc.)

| | |
|--|-------------------------------------|
| Name: <u>My Deck LLC</u> | Name: _____ |
| Profession: <u>Builder/Architect</u> | Profession: _____ |
| Address: <u>8 Route 31</u> | Address: _____ |
| City: <u>Flamington</u> State: <u>NJ</u> Zip: <u>08822</u> | City: _____ State: _____ Zip: _____ |
| Phone: (<u>908</u>) <u>713-1000</u> Fax: () _____ | Phone: () _____ Fax: () _____ |
| Email: <u>info@mydeck.com</u> | Email: _____ |

6. LOCATION OF PROPERTY

| | |
|---|---------------------------------|
| Street Address: <u>11 Cedar Tree Lane</u> | Block(s): Lot(s): <u>108:13</u> |
| Zoning District: <u>R-LD</u> | Historic District: _____ |

7. LAND USE

Existing Use: Single family

c. Proposed Use (be specific): Single family. Application is for the purpose of requesting a variance on the rear setback requirements on the extension of a deck (principal building) and construction of a patio (accessory building).

8. PROPERTY

| | |
|---|--|
| Number of Existing Lots: <u>1</u> | <u>Proposed Form of Ownership:</u> |
| Number of Proposed Lots: <u>1</u> | <input type="checkbox"/> Fee Simple <input type="checkbox"/> Condominium |
| Are there Existing Deed Restrictions or Easements? <input checked="" type="checkbox"/> No | <input type="checkbox"/> Rental <input type="checkbox"/> Cooperative |
| Are there Proposed Deed Restrictions or Easements? <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes (please attach copies) |
| | <input type="checkbox"/> Yes (please attach copies) |

9. UTILITIES (check all that apply)

| | | | |
|--|--|---------------------------------------|--|
| <input checked="" type="checkbox"/> Public water | <input checked="" type="checkbox"/> Public sewer | <input type="checkbox"/> Private well | <input type="checkbox"/> Private septic system |
|--|--|---------------------------------------|--|

10. PREVIOUS APPLICATIONS

List all previous or pending applications for this parcel (use additional sheets if necessary): _____

N/A

11. ZONING SCHEDULE (complete all that apply)

| Minimum Lot Requirements: | Required | Existing | Proposed |
|---------------------------|----------------|------------------|------------------|
| Lot Area: | <u>2 acres</u> | <u>.52 acres</u> | <u>.52 acres</u> |
| Lot Width: | <u>175 ft</u> | <u>154 ft</u> | <u>154 ft</u> |
| Lot Depth: | <u>150 ft</u> | <u>156 ft</u> | <u>156 ft</u> |
| Lot Coverage: | <u>2776 ft</u> | <u>2523 ft</u> | <u>2646 ft</u> |
| Impervious Coverage: | <u>7440 ft</u> | <u>4369 ft</u> | <u>4717 ft</u> |

Yard Requirements: (in ft.)

| Principal Building | | | |
|--------------------|-----------|-------------|-------------|
| Front Yard: | <u>75</u> | <u>50.8</u> | <u>50.8</u> |
| One Side Yard: | <u>30</u> | <u>36.8</u> | <u>36.8</u> |
| Both Sides: | <u>80</u> | <u>78.4</u> | <u>78.4</u> |
| Rear Yard: | <u>75</u> | <u>50.6</u> | <u>45.6</u> |

Accessory Building (in ft.)

| Front Yard: | <u>75</u> | <u>50.8</u> | <u>50.8</u> |
|-------------|-----------|-------------|-------------|
| Side Yard: | <u>30</u> | <u>41.6</u> | <u>41.6</u> |
| Rear Yard: | <u>50</u> | <u>50.6</u> | <u>30</u> |

Is the property a corner lot? Yes (No)Signage Requirements: N/A

Façade Sign area 1: _____

Façade Sign area 2: _____

Façade Sign area 3: _____

12. PARKING & LOADING REQUIREMENTS

Number of Parking Spaces REQUIRED: N/A Number of Loading Spaces REQUIRED: N/A

Number of Parking Spaces PROVIDED: N/A Number of Loading Spaces PROVIDED: N/A

13. RELIEF REQUESTED (check all that apply)

- ☒ Zoning Variances are requested.
- ☐ Exceptions from Municipal Requirements are requested (N.J.S.A. 40:55D-51).
- ☐ Exceptions from New Jersey Residential Site Improvement Standards (R.S.I.S.) are requested (N.J.A.C. 5:21-3.1).
- ☐ Waivers from New Jersey Residential Site Improvement Standards (R.S.I.S.) are requested (N.J.A.C. 5:21-3.2).
Requires application to and approval of the New Jersey Site Improvement Advisory Board.

For any type of the above relief requested, a separate exhibit should be attached stating the factual basis, legal theory, and/or previously granted relief.

14. SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual applicant, or that I am an Officer of the Corporate applicant and authorized to sign the application for the Corporation, or a General Partner of the partnership application.

SWORN & SUBSCRIBED to before me this

1st day of September, 2020 (year)Richard D. Cox (notary)[Signature]
SIGNATURE (applicant)9/1/20
DATEChristopher Harris
PRINT NAME

RICHARD D COX
Notary Public - State of New Jersey
My Commission Expires Apr 17, 2022

15. CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and the approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a Corporation, a resolution must be attached authorizing the application and officer signature).

| |
|--|
| SWORN & SUBSCRIBED to before me this |
| <u>15th</u> day of <u>September</u> , 20 <u>20</u> (year) |
| <u>[Signature]</u> (notary) |

[Signature] 9/1/20
SIGNATURE (owner) DATE
Christopher Harris
PRINT NAME

16. DISCLOSURE STATEMENT (circle all that apply)

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- | | | |
|--|-----|-----------|
| Is this application to subdivide a parcel of land into six (6) or more lots? | Yes | <u>No</u> |
| Is this application for a variance to construct a multiple dwelling of twenty-five (25) or more units? | Yes | <u>No</u> |
| Is this application for approval of a site (or sites) for non-residential purposes? | Yes | <u>No</u> |
| Is the applicant a corporation? | Yes | <u>No</u> |
| Is the applicant a limited liability corporation? | Yes | <u>No</u> |
| Is the applicant a partnership? | Yes | <u>No</u> |

If you responded YES to any of the above, please answer the following (use additional sheets if necessary):

List the names and addresses of all stockholders or individual partners owning at least 10% in stock of any class or at least 10% of the interest in partnership (whichever is applicable).

Does a corporation or partnership own 10% or more of the stock in this corporation or partnership? If yes, list the names and addresses of stockholders of that corporation holding 10% or more of the stock or 10% or greater interest in that partnership (whichever is applicable). This requirement is to be followed by every corporate stockholder or partnership, until the names and addresses of the non-corporate stockholders and individual partners with 10% or more ownership have been listed.

[Signature]
SIGNATURE (applicant) DATE

17. SURVEY WAIVER CERTIFICATION

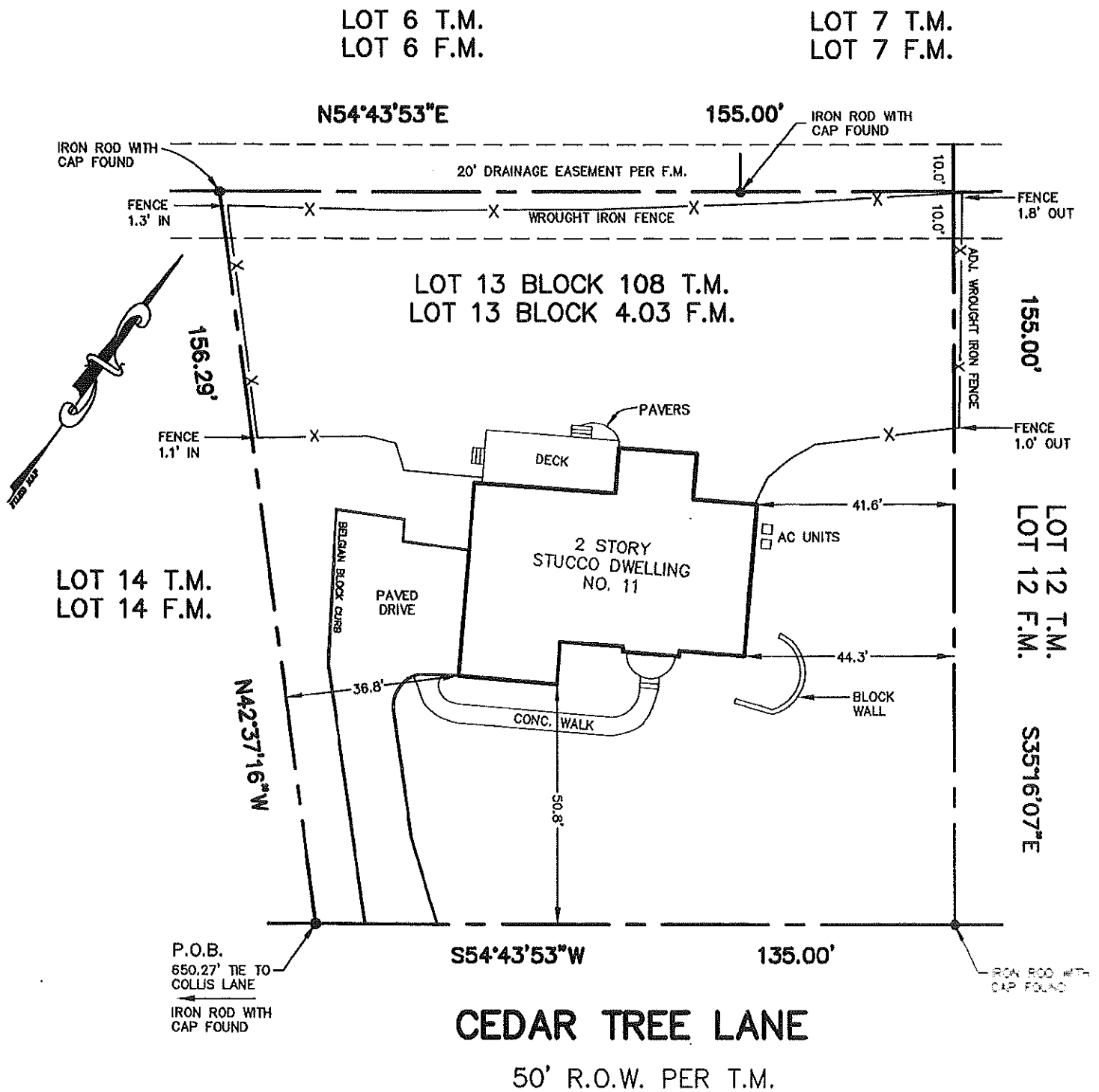
As of the date of this application, I hereby certify that the survey submitted with this application, under the date of November 17, 2017 shows and discloses the premises in its entirety, described as Block(s) 108 Lot(s) 13; and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

| |
|--|
| SWORN & SUBSCRIBED to before me this |
| <u>15th</u> day of <u>September</u> , 20 <u>20</u> (year) |
| <u>[Signature]</u> |

Christopher Harris of full age, being duly
PRINT NAME

RICHARD D COX
Notary Public - State of New Jersey
My Commission Expires Apr 17, 2022

Copy of Survey



NOTES:

1. LOT AREA = 22,475 SQ. FT. or 0.516 Acres
2. BEING COMMONLY KNOWN AS 11 CEDAR TREE LANE, CHESTER, NEW JERSEY.
3. SUBSURFACE CONDITIONS ARE NOT SHOWN OR CERTIFIED

**SURVEY OF LANDS IN: BOROUGH OF CHESTER,
MORRIS COUNTY, NEW JERSEY LOT 13 BLOCK 108**

REFERENCE: DEED BOOK 21807 PAGE 798
DESCRIPTION: BEING KNOWN AND DESIGNATED AS LOT 13 IN BLOCK 4.03 AS SHOWN ON A CERTAIN MAP ENTITLED
"FINAL PLAT OF HILLS OF CHESTER, BOROUGH OF CHESTER, MORRIS COUNTY, N.J.", WHICH MAP WAS FILED
IN THE MORRIS COUNTY CLERK'S OFFICE ON MARCH 17, 1988 AS MAP NO. 4658

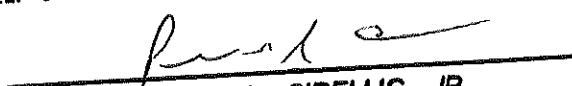
Scale: 1" = 30'

DATE: 11/17/17

PMC Land Surveying
18 Church Street No. 92
Denville, NJ 07834

TEL: 973-664-1115

FAX: 973-664-1135


PATRICK A. CIBELLIS, JR.

PROFESSIONAL LAND SURVEYOR LIC. No. GS43228

SUBJECT TO MUNICIPAL RESTRICTIONS, EASEMENTS OF
RECORD AND OTHER FACTS WHICH A TITLE SEARCH MIGHT
DISCLOSE. CERTIFIED TO BE IN ACCORDANCE WITH
PERTINENT NEW JERSEY LAWS AND REGULATIONS AND WITH
CURRENT ACCURACY STANDARDS ONLY TO:

CHRISTOPHER HARRIS AND MARISSA HARRIS,
HUSBAND AND WIFE
PROPERTY TITLE GROUP, LLC
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
PNC BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS
D'ALESSANDRO & D'ALESSANDRO, LLC

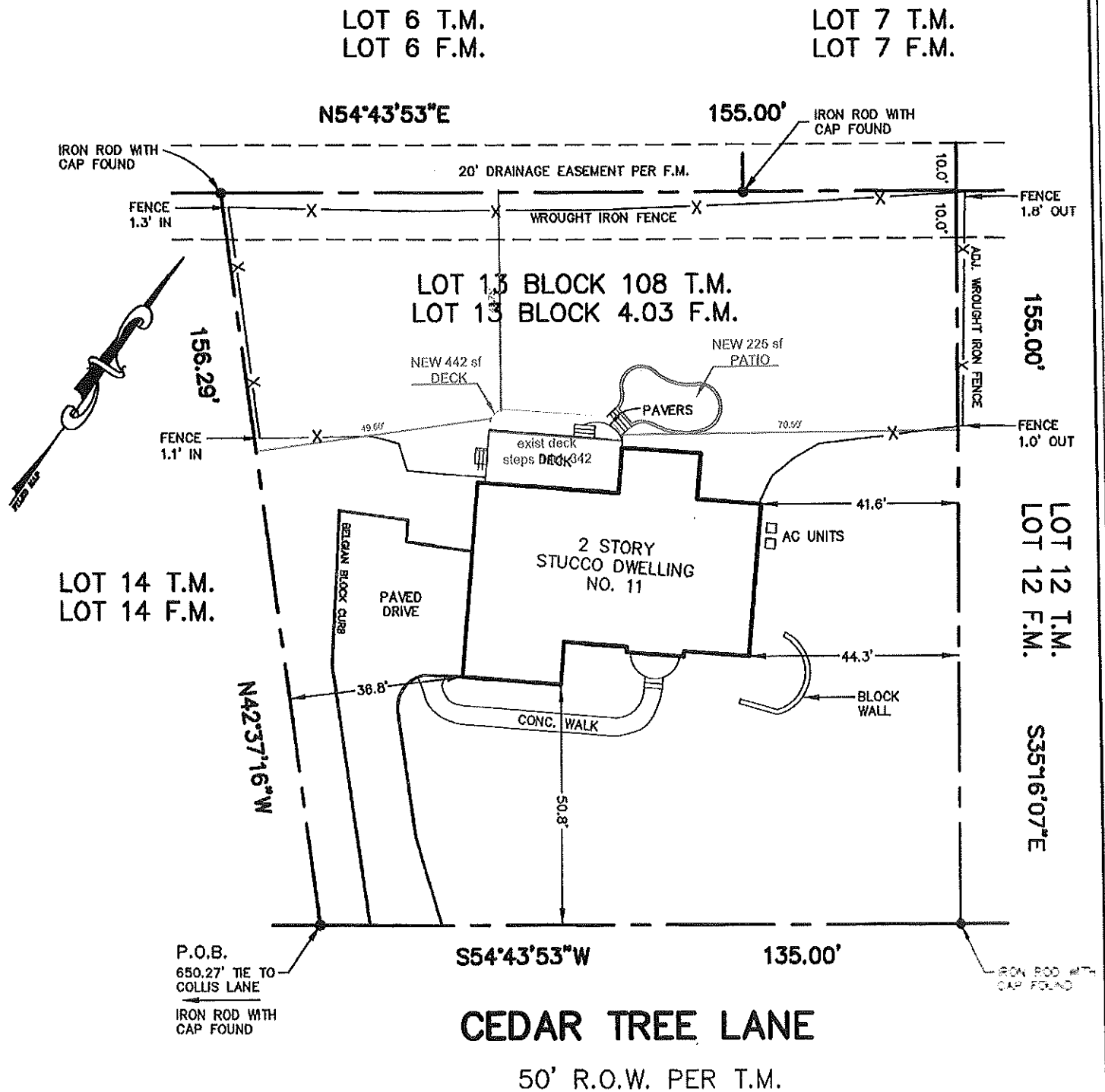
Drawn By: FPF

Revisions: 0

Project # 171012

Title No. 838234

Plans for Deck and patio



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3. SUBSURFACE CONDITIONS ARE NOT SHOWN OR CERTIFIED

| ITEM NUMBER | MINOR | | MAJOR | | VARIANCE | | APPLICANT MARK | STATUS | BOROUGH MARK | NOTES | | |
|-------------|-------------|-----------|--------------------|--------|----------|-------------|----------------|--|--------------|-------|-----|-----|
| | SUBDIVISION | SITE PLAN | CONCEPT SUBD. PLAT | PRELIM | FINAL | 40:55D-70 | | | | | | |
| | | | | | | (a) and (b) | | | | | (c) | (d) |
| 1 | . | . | . | . | . | . | . | Application form along with filing and escrow fees, checklist and waiver justification | ✓ COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 2 | . | . | . | . | . | . | . | Certification of ownership or authorization to file application. | ✓ COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 3 | . | . | . | . | . | . | . | Certificate from the Borough Tax Collector that all taxes and assessments are paid to date. | ✓ COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 4 | . | . | . | . | . | . | . | Site inspection form. | COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 5 | | | . | . | | | | Proof of submission to Shade Tree Commission. | COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 6 | . | . | . | . | . | . | . | The names and lot/block numbers of all property owners within 200 feet of the extreme limits of the tract as shown on the most recent tax list prepared by the Borough Tax Assessor. | ✓ COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 7 | . | . | . | . | . | . | . | Copies of applications to the Morris County Planning Board, Morris County Soil Conservation District, and/or NJDOT, if applicable, or letter of non-jurisdiction. | COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 8 | . | . | . | . | . | . | . | Survey prepared by a licensed surveyor of the State of New Jersey depicting: existing features, property boundaries, street lines, setback lines, lots, reservations, easements, dedications, ROW's. | ✓ COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 9 | . | . | . | . | . | . | . | Plans signed and sealed by a N.J. professional engineer and certified by a licensed land surveyor as to existing features and boundaries, folded into eighths with title block revealed. | COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 10 | . | . | . | . | . | . | . | Architectural data, including floor plans, elevations for at least four sides of all proposed buildings and depiction of proposed building materials and external finishes. | ✓ COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |
| 11 | . | . | . | . | . | . | . | When approval by another municipality is required, such approval shall be certified on the plat, or evidence shall be submitted that an application has been made for approval. | COMPLIES | | | |
| | | | | | | | | N/A | | | | |
| | | | | | | | | WAIVER | | | | |

| ITEM NUMBER | MINOR | | MAJOR | | VARIANCE | | APPLICANT MARK | STATUS | BOROUGH MARK | NOTES | | |
|-------------|-------------|-----------|--------------------|--------|----------|-------------|----------------|--------|--------------|---|---|-----------|
| | SUBDIVISION | SITE PLAN | CONCEPT SUBD. PLAT | PRELIM | FINAL | SUBDIVISION | | | | | SITE PLAN | 40-55D-70 |
| | | | | | | | | | | | | |
| 12 | . | . | . | . | . | . | . | . | . | Scale of not less than one inch equals 50 feet on final subdivision plats, and one inch equals 100 feet on minor site plans. Site plans of one acre or less shall utilize a scale not less than one inch equals 20 feet. Drawings shall be one of following standard sheet sizes: 8 1/2"x13"; 11"x17"; 24"x36", 30"x42" | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |
| 13 | . | . | . | . | . | . | . | . | . | Key Map showing the location of the tract with reference to the surrounding properties, existing streets and streams within 1,000 feet of the site. Scale not less than 1"=500' | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |
| 14 | . | . | . | . | . | . | . | . | . | Name of subdivision or development, Borough of Chester Morris County. | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |
| 15 | . | . | . | . | . | . | . | . | . | Name, title, address and telephone number or subdivider or developer. | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |
| 16 | . | . | . | . | . | . | . | . | . | Title block conform to N.J.S.A. 45:8-36, N.J.A.C. 13:40-1, N.J.A.C. 13:40-2, including name, title, address and license number of the professionals who prepared the plot or plan. | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |
| 17 | . | . | . | . | . | . | . | . | . | Name, title and address of the owner or owners of record. If owner is a corporation, the list of corporate owners shall be submitted. | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |
| 18 | . | . | . | . | . | . | . | . | . | North arrow with reference meridian. Scale (written and graphic). | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |
| 19 | . | . | . | . | . | . | . | . | . | Date of original preparation and of each subsequent revision thereof and a list of specific revisions entered on each sheet. | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |
| 20 | . | . | . | . | . | . | . | . | . | Signature blocks containing spaces for signatures of Chairman and Secretary of the Board, and Borough Engineer. | <input checked="" type="checkbox"/> COMPLIES <input type="checkbox"/> N/A <input type="checkbox"/> WAIVER | |

| ITEM NUMBER | MINOR | | CONCEPT SUBD. PLAT | MAJOR | | VARIANCE | | | APPLICANT MARK | STATUS | BOROUGH MARK | NOTES |
|-------------|-------------|-----------|--------------------|-------------|-----------|----------|-------|-----------|----------------|---------------------------|--------------|-------|
| | SUBDIVISION | SITE PLAN | | SUBDIVISION | SITE PLAN | PRELIM | FINAL | 40-55D-70 | | | | |
| | | | | | | | | | | | | |
| 21 | . | . | . | . | . | . | . | . | ✓ | COMPLIES N/A WAIVER | | |
| 22 | . | . | . | . | . | . | . | . | ✓ | COMPLIES N/A WAIVER | | |
| 23 | . | . | . | . | . | . | . | . | ✓ | COMPLIES N/A WAIVER | | |
| 24 | . | . | . | . | . | . | . | . | ✓ | COMPLIES N/A WAIVER | | |
| 25 | . | . | . | . | . | . | . | . | ✓ | COMPLIES N/A WAIVER | | |
| 26 | . | . | . | . | . | . | . | . | ✓ | COMPLIES N/A WAIVER | | |

| ITEM NUMBER | MINOR | | CONCEPT SUBD. PLAT | MAJOR | | VARIANCE | | | APPLICANT MARK | STATUS | BOROUGH MARK | NOTES | | | |
|-------------|-------------|-----------|--------------------|--------|-------|-------------|-----|-----|----------------|--------|--------------|--|-----------------------------|--|--|
| | SUBDIVISION | SITE PLAN | | PRELIM | FINAL | 40-55D-70 | | | | | | | | | |
| | | | | | | (a) and (b) | (c) | (d) | | | | | | | |
| 27 | • | • | • | • | • | • | • | • | • | • | | Delineation of watercourses and streams, floodplains and delineation of all wetlands and wetland transition areas within 200' of the tract. | COMPLIES ✓ N/A WAIVER | | |
| 28 | • | • | • | • | • | • | • | • | • | • | | Off-tract improvements as may be required in accordance with §163-30. | COMPLIES ✓ N/A WAIVER | | |
| 29 | • | • | • | • | • | • | • | • | • | • | | Existing contours, based on USGS datum with a contour interval of 2 feet for slopes less than 10%, and 5 feet for slopes 10% or more, to be indicated by a dashed line. Where any changes in contours are proposed, finished grades should be shown as solid lines. | COMPLIES ✓ N/A WAIVER | | |
| 30 | • | • | • | • | • | • | • | • | • | • | | Property boundaries, lines of existing streets, lots, reservations, easements and areas dedicated to public use, including grants, restrictions, and rights-of-way, as applicable. | COMPLIES ✓ N/A WAIVER | | |
| 31 | • | • | • | • | • | • | • | • | • | • | | Deed descriptions, including metes and bounds, easements, covenants, restrictions, exceptions and roadway and sight triangle dedications. | COMPLIES ✓ N/A WAIVER | | |
| 32 | • | • | • | • | • | • | • | • | • | • | | Soil types as per the County Soil Conservation District. Proposals for soil erosion and sediment control as required by N.J.S.A. 4:24-39 et seq. | COMPLIES ✓ N/A WAIVER | | |
| 33 | • | • | • | • | • | • | • | • | • | • | | Locations of existing rock outcrops, high points, water-courses, ponds depressions, marshes, wooded areas, single trees not in wooded areas with a diameter of 6 inches or more as measured three feet above the base of the trunk, and other significant existing features, including previous flood elevations of watercourses, ponds and marsh areas as determined by survey. | COMPLIES ✓ N/A WAIVER | | |
| 34 | • | • | • | • | • | • | • | • | • | • | | Required front, side and rear setback lines for property and within 200'. | COMPLIES ✓ N/A WAIVER | | |

| ITEM NUMBER | MINOR | | CONCEPT SUBD. PLAN | MAJOR | | FINAL | VARIANCE 40-55D-70 | | | APPLICANT MARK | STATUS | BOROUGH MARK | NOTES |
|-------------|-------------|-----------|--------------------|-------------|-----------|-------|-----------------------|-----|---|--------------------------------|--------|--------------|-------|
| | SUBDIVISION | SITE PLAN | | SUBDIVISION | SITE PLAN | | (a) (a) and (b) | (c) | (d) | | | | |
| | | | | | | | | | | | | | |
| 35 | . | . | . | . | . | . | . | . | The proposed use of land and the size, height and location and use of all proposed buildings, including all proposed floor elevations and proposed grades. | COMPLIES ✓ N/A WAIVER | | | |
| 36 | . | . | . | . | . | . | . | . | Location and size of all proposed signage including design and lighting details. If no signage is proposed, a statement to that effect shall be added to the plan. | COMPLIES ✓ N/A WAIVER | | | |
| 37 | . | . | . | . | . | . | . | . | The proposed location, direction of illumination, power and type of proposed outdoor lighting, including details, intensity in foot-candles on ground and hours of operation. Site lighting to be designed in accordance with §163-47(41). | COMPLIES ✓ N/A WAIVER | | | |
| 38 | . | . | . | . | . | . | . | . | The location and design of any off- street parking and loading areas, showing size and location of bays, aisles and barriers. | COMPLIES ✓ N/A WAIVER | | | |
| 39 | . | . | . | . | . | . | . | . | All means of vehicular and pedestrian access for ingress and egress to and from the site onto public streets, showing the size and location of driveways and curb cuts, including the possible utilization of traffic channels, channelization, acceleration and deceleration lanes, additional width and any other device necessary to prevent difficult traffic situations. | COMPLIES ✓ N/A WAIVER | | | |
| 40 | . | . | . | . | . | . | . | . | Plans showing all existing drainage within 500 feet of any boundary. Stormwater management calculations depicting compliance with all state and local codes (See §163-47(34)). | COMPLIES ✓ N/A WAIVER | | | |
| 41 | . | . | . | . | . | . | . | . | The location of all existing and proposed waterlines, valves and hydrants, and all sewer lines or alternative means of sewerage and sewage disposal and treatment in conformance with the applicable standards of the Borough and for the appropriate utility company. Location of all fire protection systems in accordance with §163-47(31). | COMPLIES ✓ N/A WAIVER | | | |

| ITEM NUMBER | MINOR | | CONCEPT SUBD. PLAN | MAJOR | | FINAL | | VARIANCE | | | APPLICANT MARK | STATUS | BOROUGH MARK | NOTES | |
|-------------|-------------|-----------|--------------------|--------|-------------|-----------|-------------|-----------|-------------|-----|----------------|----------|--------------|-------|-----|
| | SUBDIVISION | SITE PLAN | | PRELIM | SUBDIVISION | SITE PLAN | SUBDIVISION | SITE PLAN | 40-55D-70 | | | | | | |
| | | | | | | | | | (a) and (b) | (c) | | | | | (d) |
| 42 | | | | | | | | | | | ✓ | COMPLIES | | | |
| | | | | | | | | | | | | N/A | | | |
| | | | | | | | | | | | | WAIVER | | | |
| 43 | | | | | | | | | | | ✓ | COMPLIES | | | |
| | | | | | | | | | | | | N/A | | | |
| | | | | | | | | | | | | WAIVER | | | |
| 44 | | | | | | | | | | | ✓ | COMPLIES | | | |
| | | | | | | | | | | | | N/A | | | |
| | | | | | | | | | | | | WAIVER | | | |
| 45 | | | | | | | | | | | ✓ | COMPLIES | | | |
| | | | | | | | | | | | | N/A | | | |
| | | | | | | | | | | | | WAIVER | | | |
| 46 | | | | | | | | | | | ✓ | COMPLIES | | | |
| | | | | | | | | | | | | N/A | | | |
| | | | | | | | | | | | | WAIVER | | | |
| 47 | | | | | | | | | | | ✓ | COMPLIES | | | |
| | | | | | | | | | | | | N/A | | | |
| | | | | | | | | | | | | WAIVER | | | |
| 48 | | | | | | | | | | | ✓ | COMPLIES | | | |
| | | | | | | | | | | | | N/A | | | |
| | | | | | | | | | | | | WAIVER | | | |

| ITEM NUMBER | MINOR | | CONCEPT SUBD. PLAT | MAJOR | | FINAL | | VARIANCE | | | APPLICANT MARK | STATUS | BOROUGH MARK | NOTES |
|-------------|-------------|-----------|--------------------|-------------|-----------|-------------|-----------|-------------|-----|-----|--|-----------------------------|--------------|-------|
| | SUBDIVISION | SITE PLAN | | SUBDIVISION | SITE PLAN | SUBDIVISION | SITE PLAN | 40-55D-70 | | | | | | |
| | | | | | | | | (a) and (b) | (c) | (d) | | | | |
| 49 | • | | • | • | | • | | | | | The location of the portion of the tract which is to be subdivided in relation to the entire tract and in relation to all properties adjoining the tract. | COMPLIES ✓ N/A WAIVER | | |
| 50 | | | • | • | | • | | | | | The proposed pattern of any street layouts within the subdivided plat. | COMPLIES ✓ N/A WAIVER | | |
| 51 | | | • | • | | • | | | | | All streets or roads proposed, mapped or built and streams within 500 feet of the subdivision. | COMPLIES ✓ N/A WAIVER | | |
| 52 | • | • | • | • | • | • | • | • | • | • | Financial disclosure in accordance with §163-61.C.(12) and business experience and history in accordance with §163- 61.C.(13). | COMPLIES ✓ N/A WAIVER | | |
| 53 | | | | | | • | | | | | Certifications in accordance with the Map Filing Law. | COMPLIES ✓ N/A WAIVER | | |
| 54 | | | | | | | • | | | | As-built survey | COMPLIES ✓ N/A WAIVER | | |
| 55 | • | • | | • | • | • | • | | | | Certification by the applicant's surveyor and engineer as to the accuracy of the details of the plat. Certification of compliance with RSIS, or provide a list of exceptions proposed. | COMPLIES ✓ N/A WAIVER | | |
| 56 | | | | • | • | • | • | | | | Plan of all utilities together with a cost estimate of the installation of all public and non-public improvements to be installed. | COMPLIES ✓ N/A WAIVER | | |
| 57 | | | | | | • | • | | | | Written proof that all lands set aside or shown for easement, public use or streets are free and clear of all liens and encumbrances. | COMPLIES ✓ N/A WAIVER | | |
| 58 | | | | | | • | • | | | | Letters directed to the Chairman of the Board and signed by a responsible official of all utility companies, etc., providing service to the proposed development. | COMPLIES ✓ N/A WAIVER | | |
| 59 | | • | | | | | • | • | • | | All applications for wireless telecommunications facility, shall provide the items listed in Section §163-47(40). | COMPLIES ✓ N/A WAIVER | | |

| ITEM NUMBER | MINOR | | CONCEPT SUBD. PLAN | MAJOR | | VARIANCE | | | APPLICANT MARK | STATUS | BOROUGH MARK | NOTES |
|-------------|-------------|-----------|--------------------|-------------|-----------|-----------|-------|-------------|----------------|----------|--------------|-------|
| | SUBDIVISION | SITE PLAN | | SUBDIVISION | SITE PLAN | 40:55D-70 | | | | | | |
| | | | | | | PRELIM | FINAL | (a) and (b) | | | | |
| 60 | | | | • | • | | | | | COMPLIES | | |
| | | | | | | | | | | N/A | | |
| | | | | | | | | | | WAIVER | | |
| 61 | | | | | • | | | | • | COMPLIES | | |
| | | | | | | | | | | N/A | | |
| | | | | | | | | | | WAIVER | | |
| 62 | • | • | • | • | • | | | | | COMPLIES | | |
| | | | | | | | | | | N/A | | |
| | | | | | | | | | | WAIVER | | |
| | | | | | | | | | | | | |

NOTE 1: Board may require and ask for additional information.

NOTE 2: Shaded boxes only required for single family residential bulk variances.

ESCROW AGREEMENT

THIS AGREEMENT made on the

day of September 1, 2020

Chris Harris (Name) is hereinafter referred to as the "Applicant", the Land Use Board of the Borough of Chester is hereinafter referred to as "Board", and the Borough of Chester in the County of Morris is hereinafter referred to as "Borough".

WHEREAS, the Ordinance requires the Applicant to establish an escrow whereby work required to be performed by professionals employed by the Board will be paid for by the Applicant as required under the provisions of the Ordinances;

NOW, THEREFORE,

SECTION 1. PURPOSES

The Applicant agrees to pay all reasonable professional fees incurred by the Board for the performance of its duties.

SECTION 2. ESCROW ESTABLISHED

The Applicant hereby creates an escrow to be established within the Borough.

SECTION 3. ESCROW FUNDED

The Applicant, upon execution of this agreement, shall pay to the Borough such sums as are required by Ordinance to be deposited in the repository referred to in Section 2.

SECTION 4. INCREASE IN ESCROW FUND

If, during the existence of this Escrow Agreement, the funds held by the escrow shall be insufficient to cover any voucher or bill submitted by the professional staff and reviewed and approved by the Land Use Administrator. The Applicant shall, within fourteen (14) days of receipt of written notice, deposit additional sums with the escrow holder to cover the amount of the deficit referred to above and such additional amount reasonably anticipated by the Land Use Administrator needed to complete the application process. **Additionally, until such funds are fully replenished, no further consideration, review, processing of any pending application shall be permitted by the Land Use Board, nor shall any further inspections be performed by or on behalf of the Borough until such additional escrow has been deposited.** Failure to post sufficient escrow funds to cover costs incurred or anticipated shall toll the period for action by the approving authority, as required by N.J.S.A. 40:55D-1 et seq and particularly N.J.S.A. 40:55D-51 and N.J.S.A. 40:55D-73 thereby barring an applicant from seeking a default approval under N.J.S.A. 40:55D-10.4.

The written notice referred to in this paragraph shall be sent to:

Chris Harris
NAME

11 Cedar Tree Lane
Chester, NJ 07930
ADDRESS

Unless otherwise shown, receipt shall be presumed to have occurred three (3) days after mailing.

After a period of forty-five (45) days from the notice from the Borough, the applicant's failure to deposit the additional funds shall be grounds for denial of the application or for dismissal of the application without prejudice. In the event the Board approves the application, the obligation to pay for professional plan reviews fees by depositing the funds in escrow shall be a condition of the approval granted by the Board. If the escrow funds are depleted, after the application is filed or granted, the applicant shall pay additional

funds upon demand within the aforementioned fourteen (14) day period. The failure to pay, the demanded funds may also result in a voiding of any prior approvals upon due notice to the applicant by the Board. In addition to the foregoing, the Applicant hereby agrees that in the event the reasonable and necessary amounts charged by the professionals for review of the application are not paid, the outstanding fees shall be deemed a lien on the above-described property and shall be collectable as in the case of taxes by the adoption of a resolution by the Borough governing body upon receipt of a certification that the amounts are due and owing pursuant to this agreement.

In the event of the sale or transfer of property which is the subject of a development application or a change in the identity of the applicant, all funds on deposit pursuant to this agreement shall run with the development application affecting the property in question and shall be considered to be the asset and/or obligation of any subsequent owner or applicant unless the initial owner or applicant provides written notice to the approving authority, and to the professionals providing review services, that the initial owner or applicant has specifically reserved ownership rights of the escrow account. In the event such a notice is received by the Borough officials and professionals, no further review shall be undertaken by relevant professionals until the new or subsequent owner or applicant has established an escrow account and signed an escrow agreement.

SECTION 5. TIME OF PAYMENT

The professionals referred to in this Agreement, upon the conclusion of their services or periodically during the performance of their services, shall submit vouchers conforming to the requirements established by the Borough for vouchers of the type and kind referred to under this paragraph. Said vouchers shall include the amounts of all fees and costs incurred as a result of the services set forth under Section 1 of this Agreement.

SECTION 6. PAYMENTS FROM ESCROW FUNDS

The Land Use Administrator shall review the vouchers submitted by the professionals to determine whether the services have been performed in the manner and to the degree required by this Agreement. Upon making a determination that said services have been performed properly, the Land Use Administrator shall process said vouchers in the same manner and under the same terms as are normally employed for vouchers submitted for work performed on behalf of the Borough. At the conclusion of this processing, the amounts specified in said vouchers shall be paid by the escrow holder from the escrow established pursuant to this agreement.


SECTION 7. APPLICANT NOTIFICATION TO DISPUTE CHARGES

Pursuant to N. J. S. A. 40:55D -53. et seq. applicants shall notify in writing Chester Borough Land Use Board and the professional whenever applicants disputes the charges made by a professional for service rendered to the municipality in reviewing applications for development, review and preparation of documents, inspection of improvements, or other charges made. The Borough, or its designee, shall within a reasonable time period attempt to mediate any disputed charges. If the matter is not resolved to the satisfaction of the applicant, the applicant may appeal to the Morris County Construction Board of Appeals.

SECTION 8. RETURN OF UNUSED ESCROW FUNDS

Escrow funds cannot be refunded for at least one hundred twenty (120) days from the time of a final decision of the Land Use Board. After one hundred twenty (120) days, a request to refund unused escrow may be made by letter.

IN WITNESS WHERE OF, the parties hereto have set their hands and seals the date first written above.



SIGNATURE (Applicant*)

** If the applicant is a corporation, this signature must be attested to by an attorney.*

Request for Taxpayer Identification Number and Certification

Give form to the
requester. Do not
send to the IRS.

Print or type
See Specific Instructions on page 2

Name (as shown on your income tax return)

Christopher Harris

Business name, if different from above

Check appropriate box: ☒ Individual/Sole proprietor ☐ Corporation ☐ Partnership
☐ Limited liability company. Enter the tax classification (D=disregarded entity, C=corporation, P=partnership): ☐ Exempt
☐ Other (see instructions) ▶

Address (number, street, and apt or suite no.)

11 Cedar Tree Lane

City, state, and ZIP code

Chesler, NJ 07930

List account number(s) here (optional)

Requester's name and address (optional)

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on Line 1 to avoid backup withholding. For individuals, this is your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

Note: If the account is in more than one name, see the chart on page 4 for guidelines on whose number to enter.

Social security number

150 78 5284

or

Employer identification number

Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me), and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below).

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the Certification, but you must provide your correct TIN. See the instructions on page 4.

Sign
Here

Signature of
U.S. person ▶

[Signature]

Date ▶

9/1/2020

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Purpose of Form

A person who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) to report, for example, income paid to you, real estate transactions, mortgage interest you paid, acquisition or abandonment of secured property, cancellation of debt, or contributions you made to an IRA.

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN to the person requesting it (the requester) and, when applicable, to:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued);
2. Certify that you are not subject to backup withholding; or
3. Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income.

Note: If a requester gives you a form other than Form W-9 to request your TIN, you must use the requester's form if it is substantially similar to this Form W-9.

Definition of a U.S. person. For federal tax purposes, you are considered a U.S. person if you are:

- An individual who is a U.S. citizen or U.S. resident alien;
- A partnership, corporation, company, or association created or organized in the United States or under the laws of the United States;
- An estate (other than a foreign estate), or
- A domestic trust (as defined in Regulations section 301.7701-7).

Special rules for partnerships. Partnerships that conduct a trade or business in the United States are generally required to pay a withholding tax on any foreign partners' share of income from such business. Further, in certain cases where a Form W-9 has not been received, a partnership is required to presume that a partner is a foreign person, and pay the withholding tax. Therefore, if you are a U.S. person that is a partner in a partnership conducting a trade or business in the United States, provide Form W-9 to the partnership to establish your U.S. status and avoid withholding on your share of partnership income.

The person who gives Form W-9 to the partnership for purposes of establishing its U.S. status and avoiding withholding on its allocable share of net income from the partnership conducting a trade or business in the United States is in the following cases:

- The U.S. owner of a disregarded entity and not the entity,

POLITICAL CONTRIBUTION DISCLOSURE STATEMENT

1. Application Type Subject to Disclosure. Any applicant to the Chester Borough Land Use Board, including a Use (d) Variance (N.J.S.A. 40:55D-70(d)) or Bulk (c) Variance (N.J.S.A. 40:55D-70(c)) in conjunction with a major subdivision plan or a major site plan.
2. Individuals & Entities Subject to Disclosure Requirements. Any individual or entity listed below that is party to an application for a request for approval of any application type listed in the above paragraph pursuant to the following stock or ownership standard:
 - a. All owners or Developers; and
 - b. All associates of said Developers who would be subject to disclosure pursuant to N.J.S.A. 40:55D-48.1 or 40:55D-48.2.
 - c. All persons or entities holding an option or contract to purchase or other enforceable proprietary interest in such land or project.

Listed below are the date, amount, and the recipient of any and all Contributions made to or on behalf of any Chester Borough candidate, candidate committee, joint candidate committee, or political action committee or political party committee of, or pertaining to, made up to one year prior to filing the application subject to disclosure and/or during the pendency of the application process, and required to be reported pursuant to N.J.S.A. 19:44A-16(f):

☒ APPLICANT: Christopher Harte
Name of Individual

☒ OWNER: Christopher Harris
Name of Individual


☐ DEVELOPER: _____
Name of Individual

My Deck LLC
Name of Business

[illegible]

Attach a separate sheet if necessary. Do not write 'not applicable', state 'none' instead.

By signing below, I understand and certify to the above and am aware that if I have misrepresented in whole or in part of this certification, I and/or the business entity, will be liable for any penalty permitted under the law.


SIGNATURE (applicant, owner, or developer) 9/1/2020
DATE

Chris Harris

PROPERTY LIST REQUEST

I am requesting a list of property owners within two hundred (200') feet of the following subject property:

ADDRESS: 11 Cedar tree Lane

OWNER: Christopher Harris

BLOCK(S): 10 E LOT(S): 13

DATE: 9/1/2020 APPLICATION No.: _____

REQUESTOR'S NAME: Christopher Harris

ADDRESS: 11 Cedar tree Lane

EMAIL: Charris726@gmail.com

PHONE NUMBER: 973-879-5902

SIGNATURE: 

DATE: 9/1/2020

A fee of \$10.00 or \$.25/name is required, whichever is greater. Checks or money orders made payable to 'The Borough of Chester' can be submitted to the Department.

FEE RECEIPT No.: _____

LAND DEVELOPMENT AND PROCEDURES

163 Attachment 2

Schedule 1 – Part 2

Impervious Coverage Table

[Added 8-16-2005 by Ord. No. 2005-16; amended 10-18-2005 by Ord. No. 2005-23]

| All uses in R-LD and R-HD Zones | | | |
|---------------------------------------|--------------------------------|--|--|
| Base Lot Area (acres) ¹ | Base Lot Area (square feet) | Permitted Base Coverage (square feet) | Permitted Incremental Coverage Factor |
| 0.000 | 0 | 0 | 45.00% |
| 0.125 | 5,445 | 2,450 | 35.00% |
| 0.250 | 10,890 | 4,356 | 30.00% |
| 0.375 | 16,335 | 5,990 | 25.00% |
| 0.500 | 21,780 | 7,351 | 20.00% |
| 0.750 | 32,670 | 9,529 | 17.50% |
| 1.000 | 43,560 | 11,435 | 15.00% |
| 1.250 | 54,450 | 13,068 | 12.50% |
| 1.500 | 65,340 | 14,429 | 10.00% |
| 1.750 | 76,230 | 15,518 | 6.67% |
| 2.000 | 87,120 | 16,245 | 3.33% |
| 3.000 | 130,680 | 17,695 | 3.33% |
| 5.000 | 217,800 | 20,596 | 3.33% |

Permitted impervious coverage for a lot is determined from the lot area, using the table and the formula.

Determine the largest base lot area that is smaller than the actual lot area. The permitted impervious coverage is equal to the permitted base coverage plus product of the permitted incremental coverage factor and the amount of the actual lot area that exceeds the previously determined base lot area.

Example: Actual lot area is 24,000 square feet. The largest base lot area that is smaller than 24,000 square feet is 0.500 acres or 21,780 square feet. The excess of actual over base lot area is 24,000 – 21,780, or 2,220 square feet. The permitted impervious coverage is equal to 7,351 (taken from the table) plus (20% * 2,200), which is equal to 7,351 + 440 or 7,791 square feet.

Permitted building coverage is equal to 40.0% of permitted impervious coverage.

¹ For a flag lot, exclude the area of the flag staff from the base lot area and impervious coverage area calculation when this portion of the lot is improved with a driveway and utilized for access to the lot.

Maximum Impervious Coverage/Building Coverage Calculation Worksheet

| | | |
|--|----------------------|------------------|
| 1. Convert the square footage of a lot to a decimal equivalent of one acre (43,560 square feet). (example 24,000 square feet lot = .55 acres); | Example .55 | Lot Size .516 |
| 2. Identify the largest base lot area smaller than the actual lot area and record the permitted base coverage; (example = .500 acre) | 7,351 square feet | 7351 |
| 3. Subtract base lot area from total lot area (square feet) and multiply the difference by permitted incremental coverage factor and record the product; (example 24,000 – 21,780 = 2,220 x 20% = 444) | 444 | 139 |
| 4. Add Lines 2 and 3. The sum is the maximum permitted impervious coverage for the lot. | 7,795 square feet | 7490 |
| 5. Maximum building coverage. Multiply maximum permitted impervious coverage to determine maximum building coverage; (example 7,795 x 40%) | 3,118 square feet | 2996 |

September 1, 2020

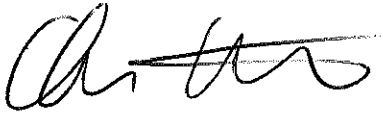
To the Chester Borough Land Use Board:

Enclosed within is an application for a variance request related to the property I own at 11 Cedar Tree Lane. I am requesting a variance for the rear setback requirements as per the following:

- Extension of pre-existing deck: We are looking to extend the end of our attached rear deck by 5 feet to the rear property line. We are looking for a variance for the rear setback requirement (75 feet for principal building structures) such that the construction of the deck (with a rear setback of approximately 45.6 feet) will be permissible.
- Construction of ground level patio: We are looking to construct a 225 square foot ground level patio adjacent to the deck. We are looking for a variance for the rear setback requirement (50 feet for accessory building structures) such that the construction of the patio (with a rear setback of approximately 30 feet) will be permissible.

All applicable information and drawings are included within this packet. Please do not hesitate to contact me with any questions. I can be reached at 973-879-5902.

Sincerely,

A handwritten signature in black ink, appearing to read 'Chris Harris', with a stylized, flowing script.

Chris Harris

Owner, 11 Cedar Tree Lane, Chester

XREFS: tm-200103.dwg

APPLICANT/OWNER:

GENERAL NOTES

- C:\P-JETER\200103 - Chester Sign\DWG\200103-CVR.dwg 05/04/20 12:20:02PM, miker, LAYOUT:COVER

(REFERENCE: BOROUGH OF CHESTER TAX MAP SHEETS 11 & 12 AND TOWNSHIP OF CHESTER TAX MAP SHEET 24)

(BOROUGH OF CHESTER)

| BLOCK | LOT | QUAL | CLA | PROPERTY OWNER | PROPERTY LOCATION |
|-------|-----|------|-----|----------------|-------------------|
|-------|-----|------|-----|----------------|-------------------|

MICHAEL J. ROTH

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLANS FOR

COVER SHEET / LOCATION MAP / KEY MAP

BLOCK 132, LOT 3

BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY

MICHAEL J. ROTH

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 240E05262600

PROFESSIONAL ENGINEER
EW JERSEY LICENSE NO. 24GE05262600

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OF THIS PLAN OR ANY PORTION IS PROHIBITED WITHOUT WRITTEN PERMISSION OF BOYD ENGINEERING, LLC

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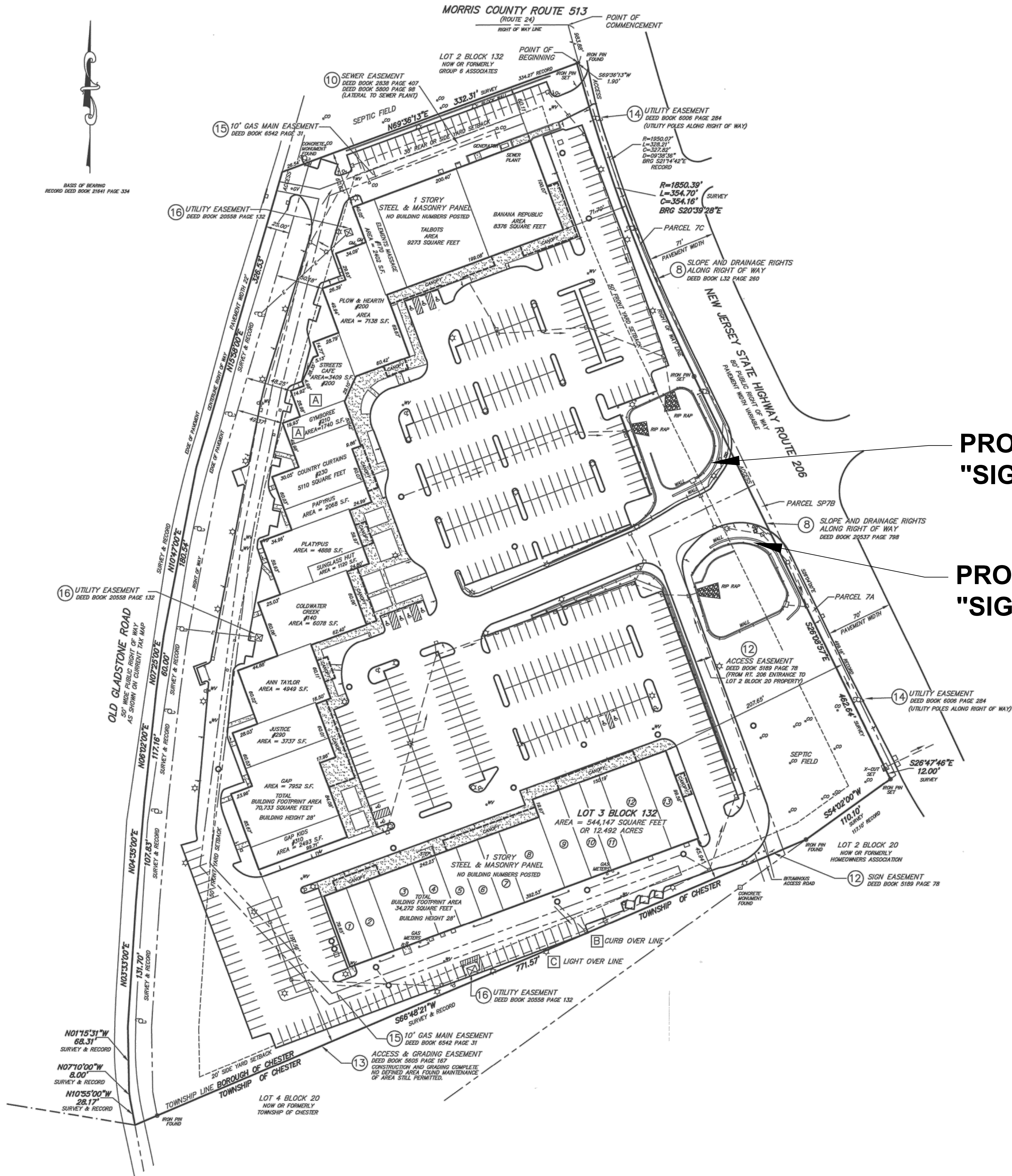
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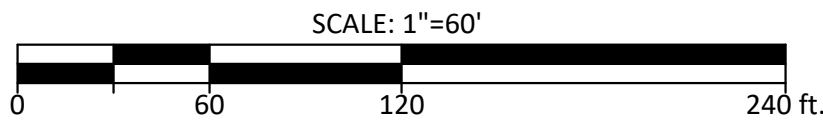
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PROPOSED MONUMENT SIGN
"SIGN B" (SEE SHEET 3)

PROPOSED MONUMENT SIGN
"SIGN A" (SEE SHEET 3)

REFERENCE:
1. INFORMATION SHOWN ON THIS SHEET IS TAKEN FROM PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, 112 HIGHWAY 206, LOT 3, BLOCK 132, BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY" PREPARED BY STIRES ASSOCIATES, P.A. DATED 07/21/10 REVISED THROUGH 10/05/15.



THESE PLANS ARE NOT TO BE USED
FOR BID OR CONSTRUCTION

SEE SHEET 1 OF THIS SET FOR
GENERAL NOTES AND REFERENCES

| ZONING TABLE | | |
|--|---|--|
| BLOCK 132, LOT 3 | | |
| BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY | | |
| ZONE: B-3 (REGIONAL COMMERCIAL BUSINESS DISTRICT) AND WITHIN THE HISTORIC PRESERVATION DISTRICT OVERLAY | | |
| EXISTING USE: REGIONAL SHOPPING CENTER | | |
| PROPOSED USE: NO CHANGE | | |
| PROPOSED IMPROVEMENTS: TWO (2) FREESTANDING SIGNS ALONG THE PROJECT'S FRONTAGE LOCATED ON THE NORTH AND SOUTH SIDE OF THE ENTRANCE DRIVE INTO THE PROJECT SITE. THE ZONING REVIEW BELOW IS SPECIFIC TO THE PROPOSED SIGNS AND THERE ARE NO CHANGES PROPOSED TO OTHER ZONING ITEMS. | | |
| VARIANCES REQUESTED | | |
| Non-permitted accessory use §163-72A(2) AND §163-72D(2) | Two (2) freestanding signs are proposed in the B-3 Business Zone where signs are not permitted as an accessory use. | |
| Materials and Design §163-93D(1) | Signs located in the Historic District shall be made of natural hardwood, metal or high density urethane (HDU) where brick is proposed. Sign received Historic Preservation Committee approval in November of 2019. | |
| REQUIREMENTS FOR SIGNS LOCATED IN HISTORIC DISTRICT | PERMITTED | PROPOSED |
| Materials and Design Signs located in Historic District of the Borough of Chester must also comply with the following: | (1) Signs shall be made of natural hardwood, metal or high density urethane (HDU). Types of acceptable wood would be oak, maple or ash. Metal signs may be iron, copper, bronze, steel or stainless steel. | (1) Proposed sign made of brick (VARIANCE) |
| | (2) Signs shall have beveled edges. | (2) Proposed sign has beveled edges. |
| | (3) Letter and characters shall be recessed, raised and/or painted. No flat plastic or vinyl lettering is permitted | (3) Letter and characters to be recessed, raised and/or painted. |
| THE BELOW ZONING CRITERIA IS SHOWN FOR COMPARISON PURPOSES ONLY AND IS NOT APPLICABLE FOR ZONING REVIEW/VARIANCE RELIEF | | |
| REQUIREMENTS FOR SIGNS LOCATED IN NONRESIDENTIAL DISTRICTS | PERMITTED | PROPOSED |
| Requirements for Freestanding Signs | (a) The sign must be located in front of the building to which the advertising applies | (a) The sign is located in front of the building |
| | (b) Each building may have only one sign | (b) Two signs are proposed and two buildings are existing |
| | (c) The sign must be located at least 10 feet from the front yard property line and road right-of-way | (c) The signs are located 11 feet from the front yard property line and road right-of-way |
| | (d) No sign shall be permitted on a sidewalk or within three feet of a sidewalk | (d) Sign is not located on a sidewalk and is setback greater than three feet from the sidewalk |
| | (e) The sign, its braces, supports, lighting and other parts may not exceed five feet in height | (e) The sign has an overall height of 9 feet (NOT COMPLIANT) |
| | (f) The sign may be illuminated but only by way of lights located outside the sign | (f) Recessed lights and ground mounted light fixtures are proposed to illuminate the signs (NOT COMPLIANT) |
| | (g) The total surface area of either side of the sign may not exceed 15 square feet | (g) The total area of the signs are 174.8 square feet which is 87.4 square feet per sign including a display area for tenants of 63 square feet and a display area for the site designation of 24.4 square feet per sign (NOT COMPLIANT) (Refer to Architectural Plans for Sign Details) |
| | (h) No part of the sign shall be permitted to protrude more than one foot from either side of the surface on the sign | (h) No part of the sign is proposed to protrude more than one foot from either side of the surface on the sign |
| | (i) The color of the sign and its parts must not be cause of undue attraction | (i) The color of the sign and its parts is designed to not be cause of undue attraction |

MICHAEL J. ROTH



PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24605262600

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
PROPOSED SIGNS AT THE STREETS OF CHESTER SHOPPING CENTER

OVERALL MAP / ZONING TABLE

BLOCK 132, LOT 3
BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY

DATE: 05/04/20

PROJECT NO.: 200103

SHEET NO.:

2 OF 5

REV #

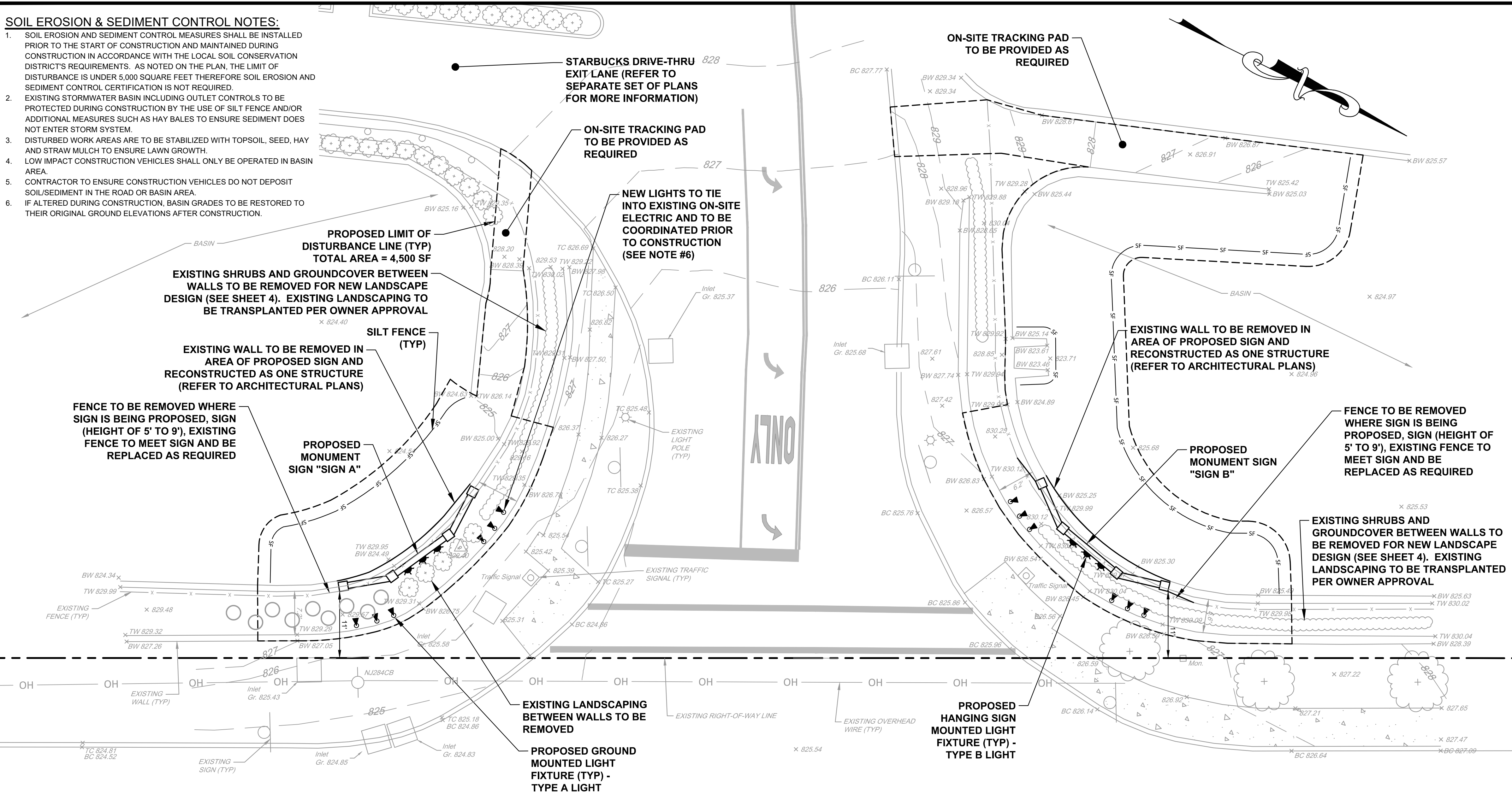
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REVISION

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SOIL EROSION & SEDIMENT CONTROL NOTES:

1. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH THE LOCAL SOIL CONSERVATION DISTRICT'S REQUIREMENTS. AS NOTED ON THE PLAN, THE LIMIT OF DISTURBANCE IS UNDER 5,000 SQUARE FEET THEREFORE SOIL EROSION AND SEDIMENT CONTROL CERTIFICATION IS NOT REQUIRED.
2. EXISTING STORMWATER BASIN INCLUDING OUTLET CONTROLS TO BE PROTECTED DURING CONSTRUCTION BY THE USE OF SILT FENCE AND/OR ADDITIONAL MEASURES SUCH AS HAY BALES TO ENSURE SEDIMENT DOES NOT ENTER STORM SYSTEM.
3. DISTURBED WORK AREAS ARE TO BE STABILIZED WITH TOPSOIL, SEED, HAY AND STRAW MULCH TO ENSURE LAWN GROWTH.
4. LOW IMPACT CONSTRUCTION VEHICLES SHALL ONLY BE OPERATED IN BASIN AREA.
5. CONTRACTOR TO ENSURE CONSTRUCTION VEHICLES DO NOT DEPOSIT SOIL/SEDIMENT IN THE ROAD OR BASIN AREA.
6. IF ALTERED DURING CONSTRUCTION, BASIN GRADES TO BE RESTORED TO THEIR ORIGINAL GROUND ELEVATIONS AFTER CONSTRUCTION.



NOTES & REFERENCES:

1. INFORMATION SHOWN ON THIS SHEET IS TAKEN FROM PLAN ENTITLED 1.1. "PRELIMINARY AND FINAL MAJOR SITE PLAN FOR THE STREETS OF CHESTER SHOPPING CENTER, PROPOSED DRIVE THRU, BLOCK 132, LOT 3, BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY" PREPARED BY MASER CONSULTING, P.A. DATED 02/24/17 REVISED THROUGH 05/18/18. 1.2. SUPPLEMENTAL TOPOGRAPHIC INFORMATION FOR NORTHERN SIDE OF ENTRANCE DRIVE OBTAINED BY ROTH ENGINEERING, LLC ON JANUARY 29, 2020. TOPOGRAPHIC INFORMATION SHOWN HEREON IS RELATIVE TO NAVD 1988 ADJUSTMENT.
2. REFER TO PLANS ENTITLED "PROPOSED PEDESTAL SIGN FOR STREETS OF CHESTER" PREPARED BY BYRNE DESIGN ASSOCIATES FOR ADDITIONAL INFORMATION ON THE PROPOSED SIGNS AND RETAINING WALLS. SHOP DRAWINGS/CONSTRUCTION PLANS OF THE PROPOSED WALLS AND SIGNS MUST BE PROCURED BY THE CONTRACTOR (OR OWNER) AND PROVIDED TO THE ARCHITECT AND DESIGN ENGINEER FOR REVIEW/APPROVAL PRIOR TO CONSTRUCTION TO VERIFY PLAN CONFORMANCE.
3. STRUCTURAL DESIGNS FOR ALL WALLS MUST BE PROCURED BY THE CONTRACTOR (OR OWNER) AND PREPARED BY AN ENGINEER LICENSED IN NEW JERSEY. THE WALL DESIGN MUST ABIDE TO THE APPROVED ATTRIBUTES RELEVANT TO TYPE OF WALL, COLOR AND TEXTURE. A BUILDING PERMIT IS REQUIRED FOR ANY WALL EXCEEDING FOUR FEET IN HEIGHT AND THE CONTRACTOR (OR OWNER) IS RESPONSIBLE FOR SECURING SAID PERMIT(S).
4. POST-CONSTRUCTION CERTIFICATION AS TO THE CONSTRUCTION OF A RETAINING WALL OR OTHER STRUCTURAL COMPONENTS TO BE PROVIDED BY A PROFESSIONAL STRUCTURAL ENGINEER ENGAGED BY THE CONTRACTOR (OWNER).
5. EXISTING WALL TO BE INVESTIGATED PRIOR TO CONSTRUCTION TO DETERMINE ANY IMPACTS BASED ON THE FOOTING DESIGN OF THE PROPOSED WALL AND SIGNS.
6. CONTRACTOR OR OWNER TO CONTRACT ELECTRICAL ENGINEER TO PROVIDE ELECTRICAL DRAWINGS FOR CONSTRUCTION AND TO DETERMINE PROPOSED LIGHTING CONNECTION TO EXISTING ON-SITE CONDUIT. CONTRACTOR TO COORDINATE THE PROPOSED LIGHTING CONNECTIONS WITH ANY UTILITY CROSSINGS.
7. ELECTRICAL CONTRACTOR TO COORDINATE LIGHTING CONTROLS WITH OWNER AND IN ACCORDANCE WITH BOROUGH APPROVAL.

LIGHTING CONTACT INFORMATION

DIVERSIFIED NEW JERSEY
55 LANE ROAD
FAIRFIELD, NJ 07004

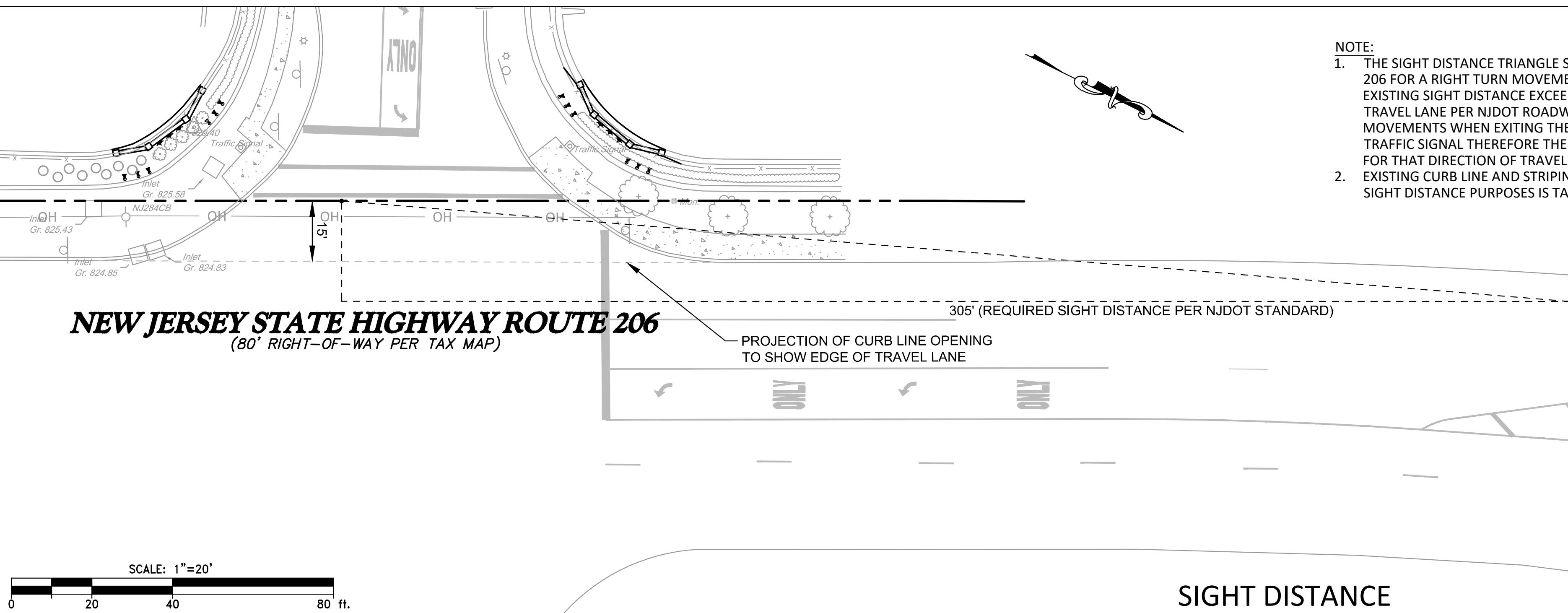
CONTACT: MATTHEW STERNER
(908) 907-8462
MSTERNER@DIVNJ.COM

| Luminaire Schedule | | | | | |
|--------------------|-------------|-----|------|--------------|---|
| Symbol | Arrangement | Qty | Type | Manufacturer | Product Code |
| | SINGLE | 12 | A | ECOSENSE | F080-1S-MO-35-9-90-FINISH-C w/ F080-LS-1-STK-12 (GROUND MOUNTED AT 1' AFG) |
| | SINGLE | 6 | B | TROY | RA10-LED1235-FINISH-2-L23-FINISH (WALL MOUNTED AT 5' AFG) |
| | SINGLE | | C | LLI | LLI-LTP5.0W-65-35K-24V-90-XX' w/ LLI-GZR-T5.0W-65-35K-WW-XX' (MOUNTED AT VARIOUS HEIGHTS) |

NEW JERSEY STATE HIGHWAY ROUTE 206

(80' RIGHT-OF-WAY PER TAX MAP)

LAYOUT AND LIGHTING PLAN



SIGHT DISTANCE

THESE PLANS ARE NOT TO BE USED
FOR BID OR CONSTRUCTION

SEE SHEET 1 OF THIS SET FOR
GENERAL NOTES AND REFERENCES

| REV # | DATE | REVISION |
|-------|------|----------|
| | | |
| | | |
| | | |

MICHAEL J. ROTH



PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24605262600
NJ CERTIFICATE OF AUTHORIZATION NO. 246043039800
ROTH ENGINEERING, LLC
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EMAIL: MJR@ROTHEENGINEERS.COM

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
PROPOSED SIGNS AT THE STREETS OF CHESTER SHOPPING CENTER

LAYOUT AND LIGHTING PLAN

BLOCK 132, LOT 3
BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY

DATE: 05/04/20
PROJECT NO.: 200103

SHEET NO.:

3 OF 5

C:\P\JETER\200103 - Chester Sign\DWG\000103-SITE.dwg 05/04/20 12:25:35 PM, miker, LAYOUT-LANDSCAPE

GENERAL LANDSCAPE NOTES

PLANTING:

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
- IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN, THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
- PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD.
- ALL PLANT MATERIAL SHALL CONFORM TO CURRENT 'AMERICAN STANDARDS FOR NURSERY STOCK' BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
- ALL PLANTS (8&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR ENGINEER.
- ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- PLANT SUBSTITUTIONS SHALL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT RELATIVE TO SIZE, SPECIES AND VARIETY. ALL PLANT MATERIAL SHALL BE TO TRUE SPECIES, VARIETY, AND SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WRITTEN PROOF OF UNAVAILABLE PLANT MATERIAL MUST BE DOCUMENTED.
- ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
- TRANSPLANTING:
 - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
 - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
 - IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
 - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
 - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
 - IF TRANSPLANTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND.
- BULBS SHALL BE PLANTED IN ACCORDANCE WITH SECTION 11 OF THE ANLA STANDARDS.
- THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE AS INDICATED ON THE DOCUMENTS.
- ALL TREE STAKES AND WIRES WILL BE REMOVED BY THE APPLICANT AFTER ONE (1) YEAR FROM THE DATE OF INSTALLATION.
- VEGETATION PROPOSED AMONG EXISTING VEGETATION IS TO BE PLANTED TO AVOID DAMAGE TO THE EXISTING VEGETATION.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7' ABOVE GRADE.
- MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, ENGINEER, OR OWNER.
- ALL PLANTING BEDS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOOD MULCH WITH WEED INHIBITING FABRIC BENEATH.
- PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED.
- UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE MEETING OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- ALL TREES SHALL BE GUARANTEED FOR 24 MONTHS FROM TO DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 24 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.

- PLANTING DATES:
- | | | |
|---------------------------|-----------------|--|
| FALL | | |
| AUGUST 15 - DECEMBER 15: | EVERGREEN TREES | |
| OCTOBER 15 - DECEMBER 15: | DECIDUOUS TREES | |
| SPRING | | |
| MARCH 1 - MAY 15: | ALL PLANTS | |

LAWN:

- ALL DISTURBED AREA OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODDED.
- ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, BUTTED WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
- ALL PLANTING BEDS ADJACENT TO LAWN AREAS (SOD OR SEED) SHALL BE SPADE EDGED.

SOILS:

- CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL TEST OF EXISTING ON SITE SOILS TO BE USED AS PART OF PLANTING BACKFILL MIXTURE.
- PLANT BACKFILL MIXTURE: BACKFILL PLANT PITS WITH A MIXTURE OF TOPSOIL AND SOIL AMENDMENTS. AMENDMENTS SHALL BE ADDED AS RECOMMENDED BY CERTIFIED SOIL TEST.
- CONTRACTOR SHALL PROVIDE PLANTING BACKFILL MIXTURE TO PROPOSED DEPTHS AS FOLLOWS: TREES (24 INCH MINIMUM OF MIXTURE), SHRUBS (18 INCH MINIMUM OF PLANTING BACKFILL MIXTURE), PERENNIALS AND GROUND COVER (12 INCH MINIMUM OF PLANTING BACKFILL MIXTURE).
- IF WET SOIL CONDITIONS EXIST THEN PLANT PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND THE ADDITIONAL AREA FILLED WITH SAND.
- IMPORTED OR ON-SITE TOPSOIL MAY BE USED TO REFILL THE EXCAVATED AREA. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. CONTRACTOR TO MODIFY THE SOIL AS NEEDED TO MEET REQUIRED PH AND NUTRIENT LEVELS.
- LAWN/LANDSCAPE RESTORATION AREAS: CONTRACTOR TO COMPLETELY REMOVE ALL UNDERLYING CONSTRUCTION MATERIALS AND ANY CONSTRUCTION SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24", INCLUDING A MINIMUM OF 6" THICK TOPSOIL.
- ALL AREAS, WHICH ARE TO BE SEED, SHALL RECEIVE 5" OF TOPSOIL PRIOR TO SEEDING. PRIOR TO TOPSOIL PLACEMENT THE EXISTING SOIL SHALL BE RAKED CLEAN OF WEEDS, VEGETATION AND EXTRANEOUS MATERIALS SUCH AS WOOD, STONES, ROCKS, CONSTRUCTION DEBRIS, ETC. LARGER THAN TWO (2) INCHES IN ANY DIMENSION. TOPSOIL SHALL BE SANDY LOAM FREE FROM SUBSOIL. STONES LARGER THAN 1" OR ANY UNDESIRABLE MATERIAL, CONTAIN 5% ORGANIC MATTER, 6.0 TO 6.5 PH. TOPSOIL SHALL NOT BE WORKED IN MUDDY OR WET CONDITIONS.
- TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES AND STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND SOD PRIOR TO SUBMITTING A BID.
- THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
- ALL PLANTING AREAS WITHIN EXISTING ASPHALT PAVEMENT AREAS SHALL BE DECOMPACTED A MINIMUM DEPTH OF 24 INCHES. CONTRACTOR TO REMOVE ASPHALT/BASE MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24". TAKE CARE TO NOT RIP SOIL WITHIN THE DRIP LINE OF EXISTING TREES.

COORDINATION:

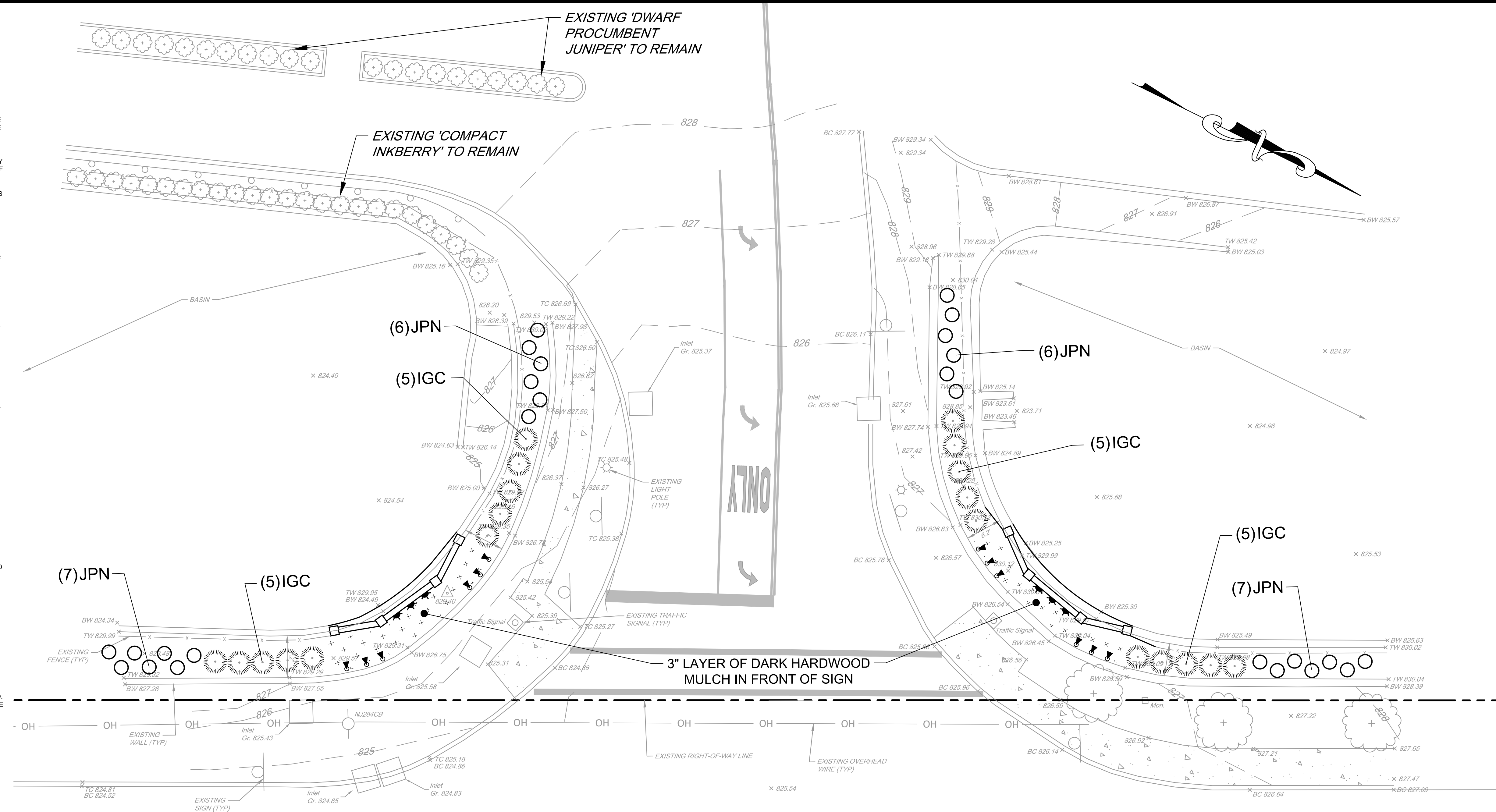
- THE CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTRACTOR (WHEN / WHERE APPLICABLE) REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE THREE (3) DAYS PRIOR TO ANY EXCAVATION. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT UTILITIES ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.

INSTALLATION:

- ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
- DURING PLANTING OPERATIONS EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.

MAINTENANCE:

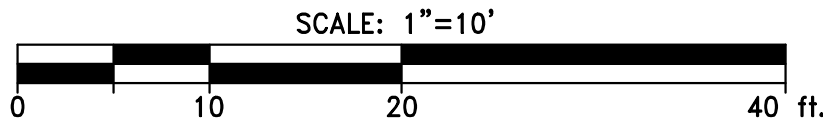
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDES: WATERING, PRUNING, FERTILIZING, WEEDING, MULCHING, REPLACEMENT OF DISEASED OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF PLANTS.



NEW JERSEY STATE HIGHWAY ROUTE 206
(80' RIGHT-OF-WAY PER TAX MAP)

PLANT SCHEDULE

| EVERGREEN SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE | HEIGHT |
|------------------|-----|------------------------|--------------------------|--------|------|---------|
| IGC | 20 | ILEX GLABRA 'COMPACTA' | COMPACT INKBERRY | #5 CAN | | 24" MIN |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | CONT | SIZE | HEIGHT |
| JPN | 26 | JUNIPERUS PROCUMBENS | DWARF PROCUMBENT JUNIPER | #2 CAN | | 24" MIN |



THESE PLANS ARE NOT TO BE USED
FOR BID OR CONSTRUCTION

SEE SHEET 1 OF THIS SET FOR
GENERAL NOTES AND REFERENCES

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
PROPOSED SIGNS AT THE STREETS OF CHESTER SHOPPING CENTER

LANDSCAPE PLAN

BLOCK 132, LOT 3
BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY

DATE: 05/04/20

PROJECT NO.: 200103

SHEET NO.:

4 OF 5

MICHAEL J. ROTH

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE NO. 24605262600

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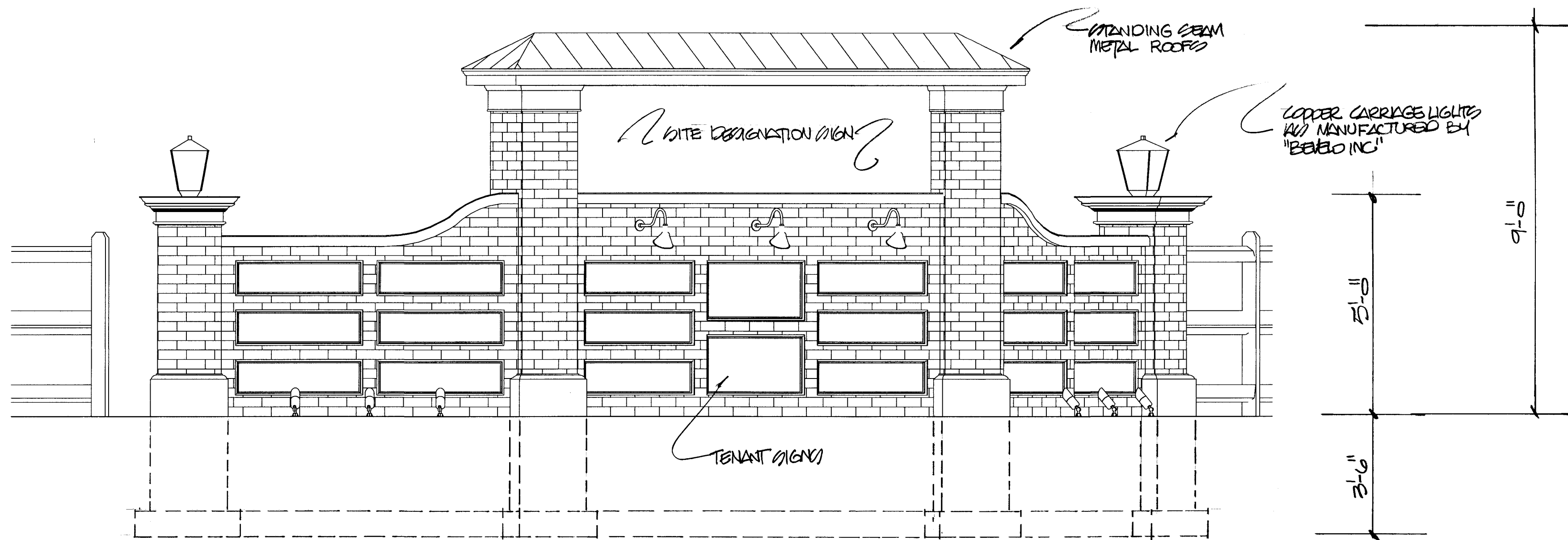
ROTH ENGINEERING

NJ CERTIFICATE OF AUTHORIZATION NO. 2460428309800

ROTH ENGINEERING, LLC

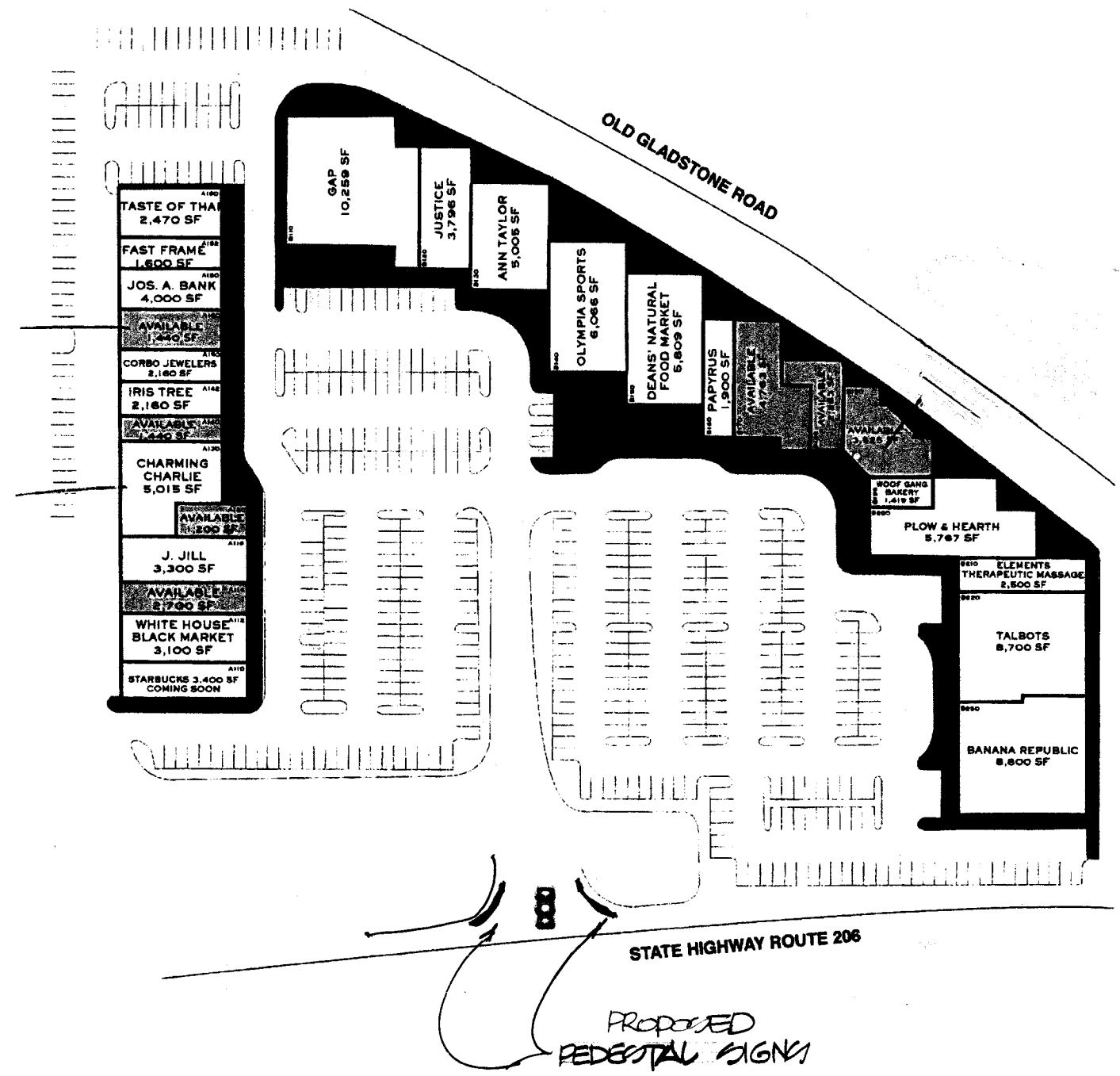
52 QUAIL RUN, LONG VALLEY, NJ 07863

EMAIL: MJK@ROTHENGINEERS.COM

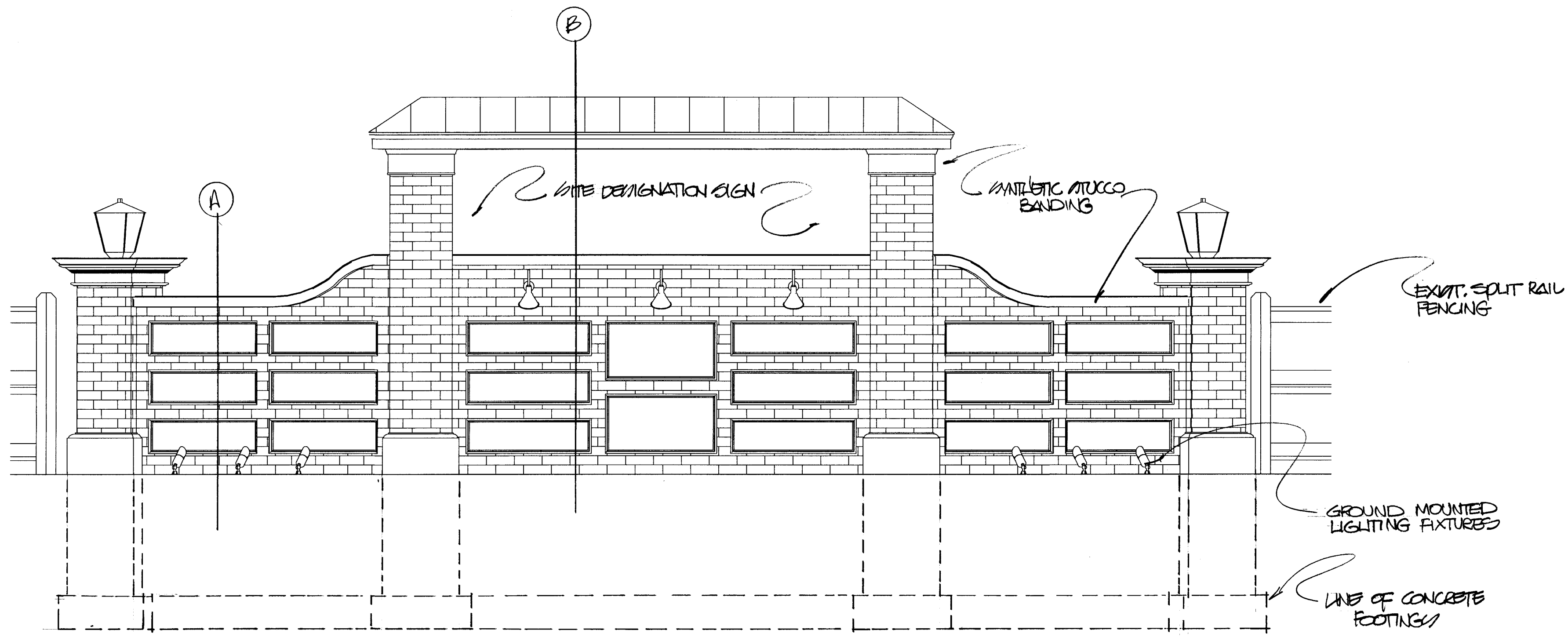


ELEVATION A

SCALE: 1/2" = 1' - 0"



KEY MAP
SCHEMATIC ONLY



ELEVATION B

SCALE: 1/2" = 1' - 0"

DISCREPANCIES:

1. Discrepancies shown of different drawings or between drawings and specifications or notes, shall be promptly brought to the attention of the architect for resolution.
2. Examination and checking of drawings: The contractor shall examine and check all quantities and dimensions given in the drawings and shall be responsible for the satisfactory joining and fitting of all parts of the work. Checking or inspections by the architect shall not relieve the contractor of any responsibility as to the correctness of the work.
3. Meaning of terms, symbols, and abbreviation: If not clear as noted on drawings or in the specifications, the contractor shall request verification by the architect prior to the submission of the proposal or bid.
4. Codes: The contractor shall comply with all applicable codes governing construction, plumbing, sanitary, heating, and electrical work in the municipality. Notify the architect immediately the drawings of the specifications are at variance with any codes and regulations.

GENERAL NOTES:

1. Concrete slabs on grade and footings shall have a minimum compressive strength of 3000 psi after 28 days.
2. All slabs on grade to have 6x6 10/10 woven wire mesh and be installed on 6 mil. Poly vapor barrier and 4" crushed stone. Provide 2" rigid insulation at exposed perimeter.
3. All footings shall bear an undisturbed soil having bearing capacity of 3000 psf minimum.
4. All structural framing members to have a E= 1,600,000 psf (Douglas Fir #2 or better). Exterior bearing walls of less than 9'-0" and all non-bearing partitions shall be stud grade minimum.

| Single Member | Repetitive Member |
|---------------|-------------------|
| 2x6 | 1137 psi |
| 2x8 | 1050 psi |
| 2 x 10 | 963 psi |
| 2 x 12 | 875 psi |
| | 1308 psi |
| | 1207 psi |
| | 1106 psi |
| | 1006 psi |

Byrne Design Associates Inc.

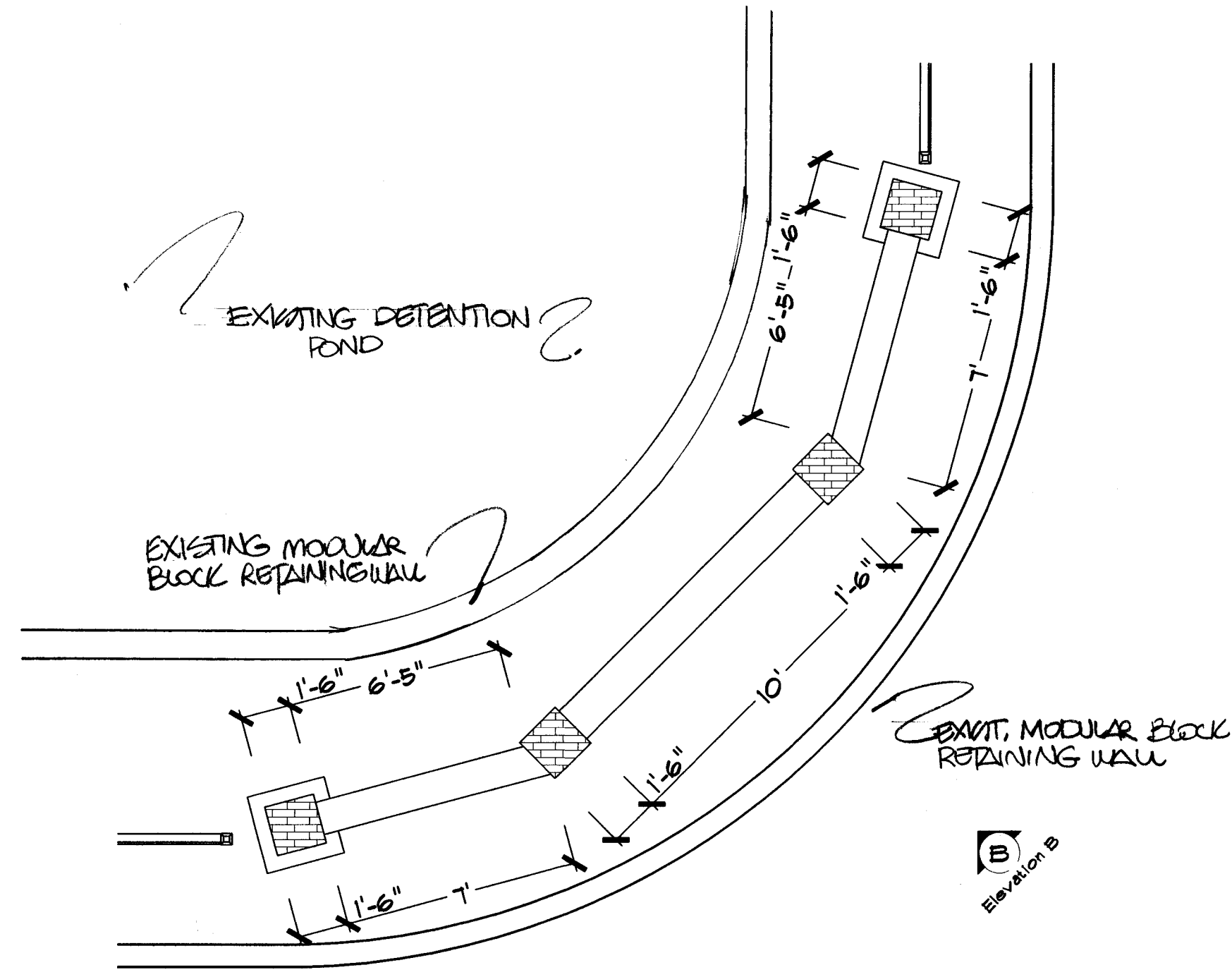
architecture / design / planning

10 MAIN STREET • CHESTER, NEW JERSEY 07930
PHONE (908) 879-0996 • FAX (908) 879-5987
WILLIAMBYRNE@AOL.COM

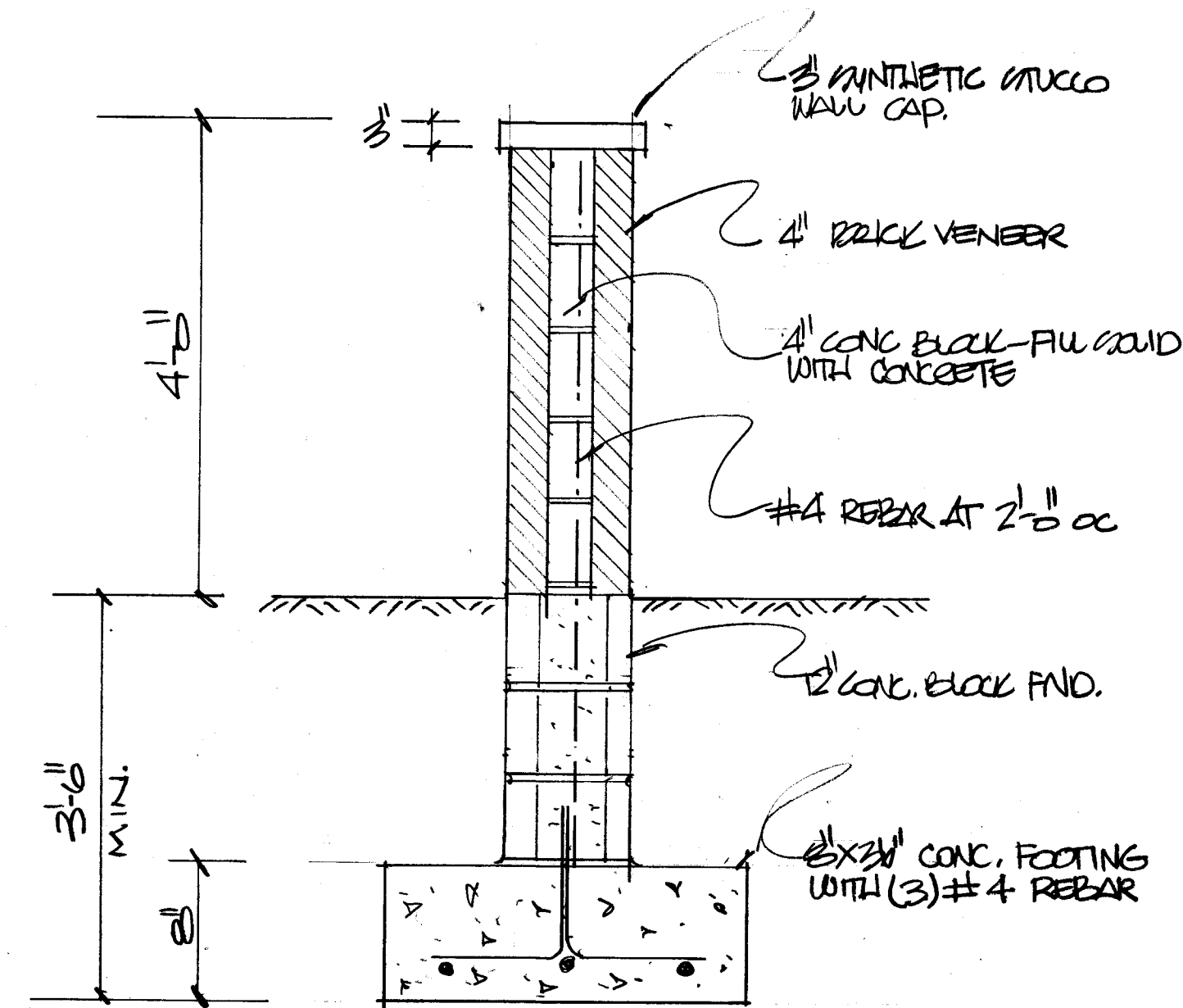
PROPOSED PEDESTAL SIGN
STREETS OF CHESTER
270 RT. 206 SOUTH
CHESTER, NJ

DATE: 8/28/13
JOB: •
SCALE: NOTED
SHEET: •

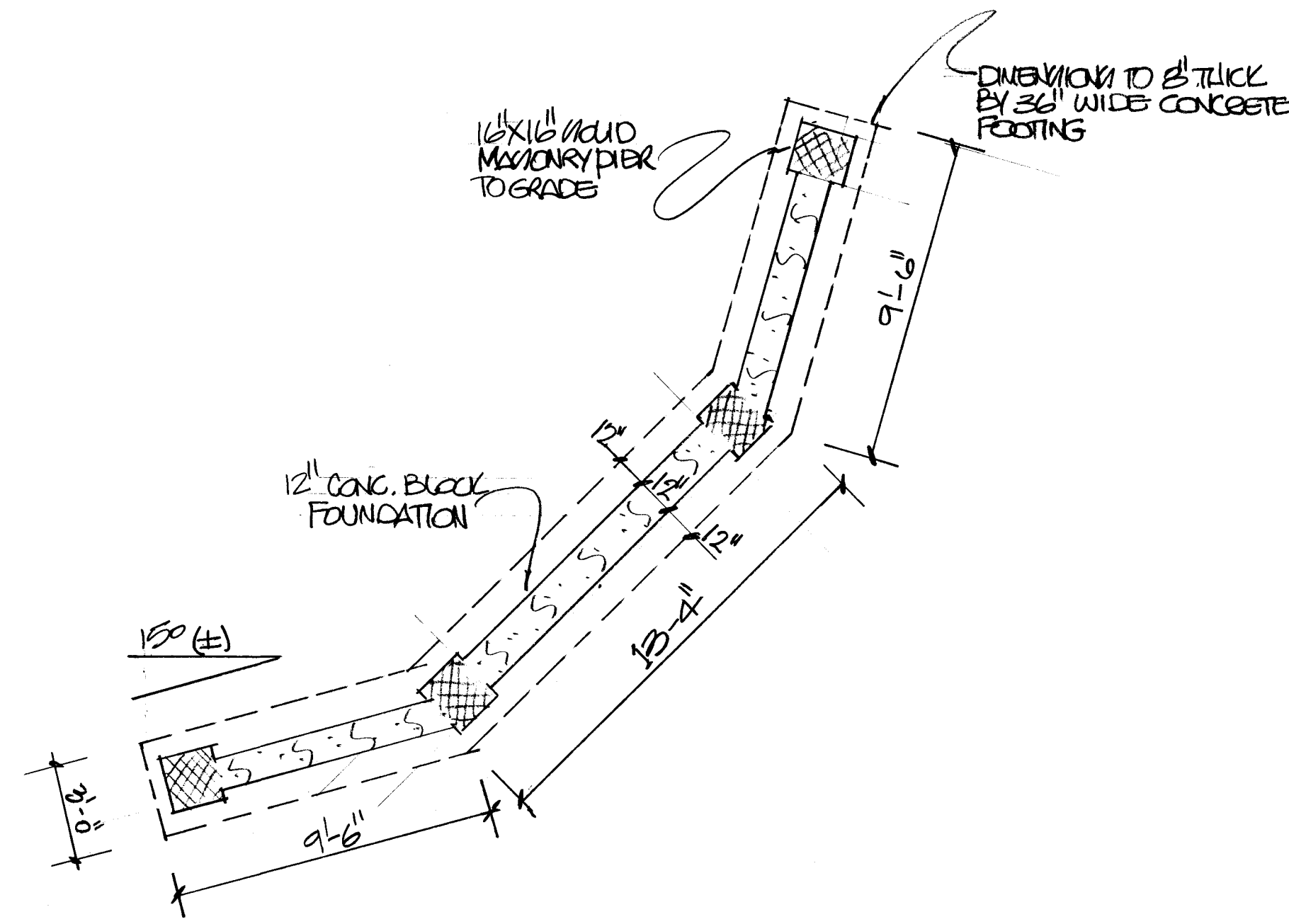
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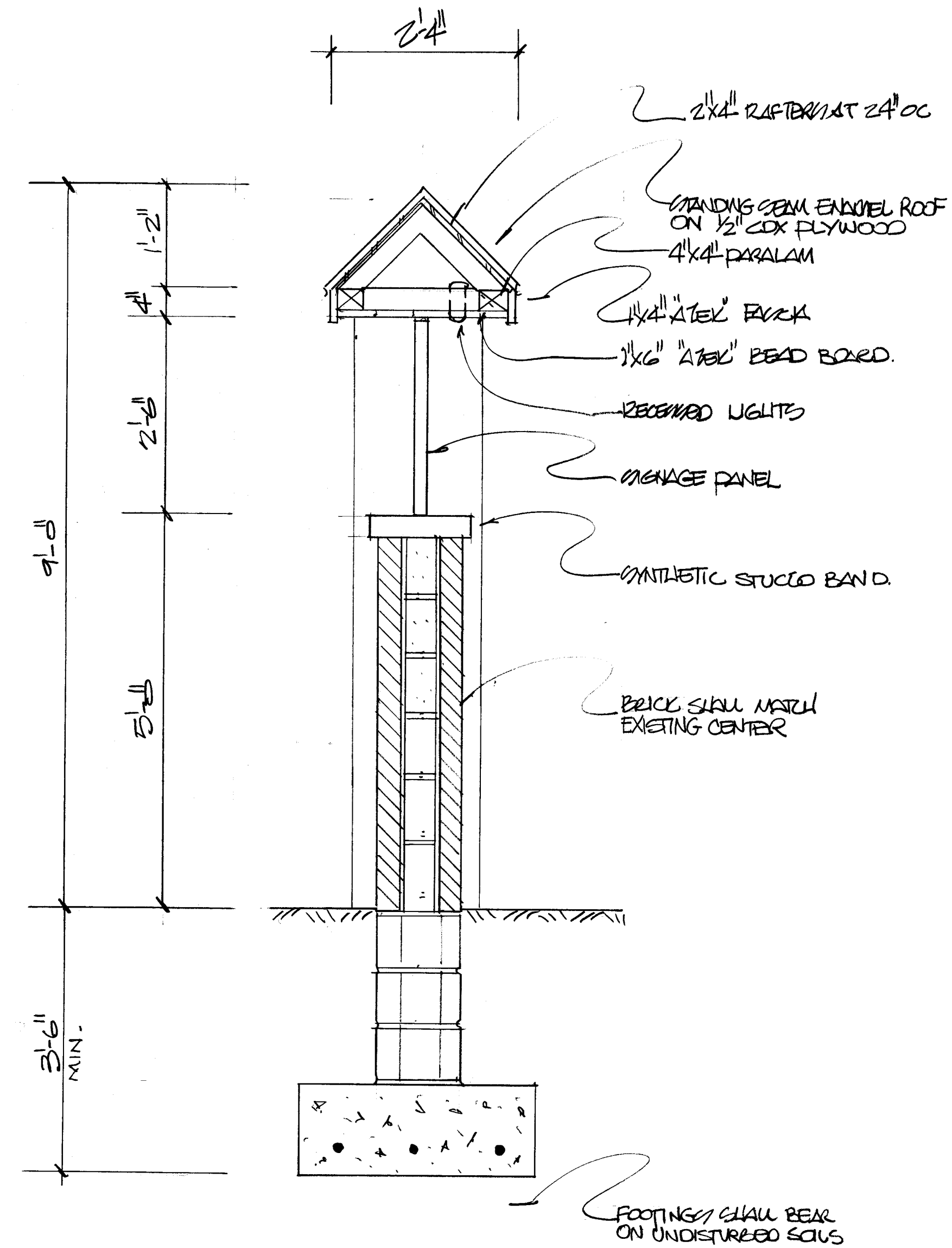
SIGN PLAN
SCALE: 1/4" = 1'-0"



DETAIL A
SCALE: 3/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



DETAIL B
SCALE: 3/4" = 1'-0"

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PROPOSED PEDESTAL SIGN
STREETS OF CHESTER
270 RT. 206 SOUTH
CHESTER, NJ

DATE: 8/28/13
JOB: •
SCALE: NOTED
SHEET: •

WILLIAM P. BYRNE | ARCHITECT
NEW JERSEY | A 14492
VIRGINIA | 009339

2

LOT 6 T.M.
LOT 6 F.M.

LOT 7 T.M.
LOT 7 F.M.

N54°43'53"E

155.00'

IRON ROD WITH
CAP FOUND

IRON ROD WITH
CAP FOUND

20' DRAINAGE EASEMENT PER F.M.

FENCE
1.3' IN

WROUGHT IRON FENCE

10.0'
10.0'

FENCE
1.8' OUT

LOT 13 BLOCK 108 T.M.
LOT 13 BLOCK 4.03 F.M.

NEW 442 sf
DECK

NEW 225 sf
PATIO

PAVERS

exist deck
steps Deck 342

BELGIAN BLOCK CURB

PAVED
DRIVE

2 STORY
STUCCO DWELLING
NO. 11

AC UNITS

CONC. WALK

BLOCK
WALL

LOT 14 T.M.
LOT 14 F.M.

155.00'

LOT 12 T.M.
LOT 12 F.M.

S35°16'07"E

N42°37'16"W

P.O.B.
650.27' TIE TO
COLLIS LANE
IRON ROD WITH
CAP FOUND

S54°43'53"W

135.00'

IRON ROD WITH
CAP FOUND

CEDAR TREE LANE

50' R.O.W. PER T.M.

NOTES:

1. LOT AREA = 22,475 SQ. FT. or 0.516 Acres
2. BEING COMMONLY KNOWN AS 11 CEDAR TREE LANE, CHESTER, NEW JERSEY.
3. SUBSURFACE CONDITIONS ARE NOT SHOWN OR CERTIFIED









