CHESTER BOROUGH LAND USE BOARD AGENDA OCTOBER 8, 2020 7:00 PM

YOU ARE INVITED TO A ZOOM WEBINAR.

WHEN: OCT 8, 2020 07:00 PM EASTERN TIME (US AND CANADA)

TOPIC: OCTOBER LAND USE BOARD

REGISTER IN ADVANCE FOR THIS WEBINAR:

HTTPS://US02WEB.ZOOM.US/WEBINAR/REGISTER/WN_KK908CWGSIU2MDDPU6_RSW

Webinar ID 884 9060 4440

AFTER REGISTERING, YOU WILL RECEIVE A CONFIRMATION EMAIL CONTAINING INFORMATION ABOUT JOINING THE WEBINAR.

OR IPHONE ONE-TAP : US: +19294362866,,84802601410# OR +13017158592,,84802601410# OR TELEPHONE: DIAL(FOR HIGHER QUALITY, DIAL A NUMBER BASED ON YOUR CURRENT LOCATION): US: +1 929 436 2866 OR +1 301 715 8592 OR +1 312 626 6799 OR +1 669 900 6833 OR +1 253 215 8782 OR +1 346 248 7799 WEBINAR ID: 827 1946 6932 INTERNATIONAL NUMBERS AVAILABLE: HTTPS://US02WEB.ZOOM.US/U/KRTGT2AJG

CHESTER BOROUGH LAND USE BOARD AGENDA OCTOBER 8, 2020 7:00 PM

1. CALL TO ORDER

2. OPEN PUBLIC MEETINGS ACT

Adequate notice of this meeting of the Chester Borough Land Use Board was given as required by the "Open Public Meetings Act" as follows: notice was sent to the Observer Tribune and the Daily Record, posted on the bulletin board in the Borough Municipal Building and posted on the Borough website and filed with the Borough Clerk. The Land Use Board will hold a regular meeting by web-based platform providing remote access as the meeting will be open to the public remotely. Details for public participation will be posted on the website at chesterborough.org. Public can register at Zoom.us and to join: https://us02web.zoom.us/webinar/register/WN_KK908CWGSiu2mDdPu6_rSw Webinar ID 884 9060 4440

In the event any member of the public cannot access the public file documents or exhibits, and/or cannot access the Zoom web-based virtual meeting room, they may contact the Board Secretary at kbrown@chesterborough.org or 908-879-3660 x 2123

3. SALUTE TO THE FLAG

4. ROLL CALL

Janet Hoven Kerry Brown Stan Stevinson Anita Rhodes Adam Sorchini Stanley Quintana, Alternate #2

Steven Warner, Board Attorney Steve Bolio, Board Engineer

5. MINUTES

A. September 10, 2020

6. PUBLIC HEARING – LAND DEVELOPMENT APPLICATIONS

- A. Christopher Harris 2020-07
 - **11 Cedar Tree Lane Block 108, lot 13 Zoning R-LD (2 acre)** Variance application to expand existing deck and construct patio area
- B. CPP Streets of Chester, LLC
 160 US Hwy Route 206 South; Block 132, Lot 3, Zoning B-3 (historic overlay)
 Amended site plan/variance application to erect two freestanding signs (material mailed)

7. RESOLUTIONS FOR ADOPTION

A. Chester Village Square – Benito's Trattoria

Amended site plan application/variance application to construct a 163 sf addition to rear of building and construct roof over existing patio area. 50 Main Street, Block 129, Lot 3

Chris Heil Ken Kasper Don Storms Edd Creter Michael Ferrone, Alternate #1

David Banisch, Board Planner Sarah Jane Noll, Recording Secretary

- 8. COMMUNICATION/DISCUSSION ITEMS
- 9. PUBLIC COMMENT
- 10. ADJOURNMENT

Chester Borough Shade Tree Commission 50 North Road, Chester, NJ 07930 Phone: 908-879-3660 Fax: 908-879-0122

DATE:	September 14, 2020
TO:	Chester Borough Land Use Board
FROM:	Chester Borough Shade Tree Commission
RE:	CPP STREETS OF CHESTER, LLC - Block 132, Lot 3 The Woodmont Company, Monument Sign Application

Landscape Plan dated May 5, 2020

PLAN TITLE:

The Chester Borough Shade Tree Commission has prepared the following report based on a review of the above-referenced material.

The existing width of the proposed planting areas will allow for larger plants. By increasing the size of plant-material (proposed material is 24" wide or 24" tall) the landscaping would be in better proportion to the 32' x 9' signs and also be visible from Route 206. A mixture of leaved and needle evergreens, 4' to 6' high, would be preferable.

It appears larger plants would not be a sight line problem, but we defer to the Borough Engineer on this issue.

Dwarf Procumbent Juniper is essentially a ground cover and would have minimal visibility as proposed. Compact Inkberry has unfortunately been a short-lived plant at several locations in Chester and is therefore not recommended. Risks associated with monoculture already exists on site as an additional 76 Dwarf Procumbent Junipers and 25 Compact Inkberry were planted in 2019 when Starbucks moved to the mall.

General Landscape Note 20 only guarantees plant-material for 24 months and replacements for 90 days. Statement is required that all landscaping to remain after construction shall be maintained by the owner as approved. Suggested statement: "All landscaping shall be guaranteed by installer for one year and thereafter by the owner"

Plan proposes dark hardwood mulch. Natural hardwood mulch would conform with other mulch at the site and prevent the use of dyed mulch.

Please contact the Borough Construction Office if you have any questions or concerns. The next meeting of Shade Tree Commissions will be held on September 23, 2020 at 7pm.

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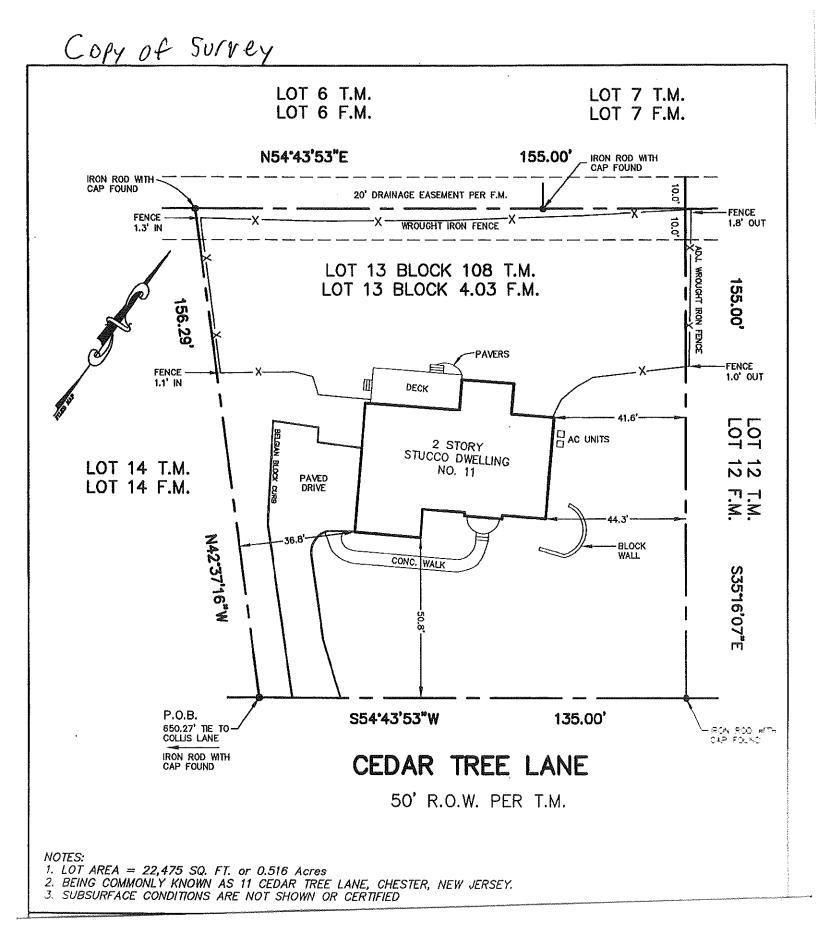
	BOROUGH OF CHE 50 NORTH ROA		<u></u>	
•	CHESTER NJ 07 908-879-3660 X			
	www.chesterborou			
	www.cilesterborot	gnorg		
	LAND USE DEVELOPMENT	APPLICATION		
			FOR OFFICE	USE ONLY
Submission Date:	Application No.:			O(INITIAL)
				°ROJ. #
		Es	CROW \$E	SCR. #
1. APPLICANT	2. OV	NER	a seguerado en	n an transmission
Name: Christopher 1	AM'S Name	Christoplar	Hams	
Address: 11 Cedar TI		is: 11 Cedar	- The Lane	
	<u> </u>			
Chasle	117 - 07/130 -	Chaster	Charles Not	71-1 (575)(7)
City: <u>Cheste</u> sta				
Phone: (473) <u>679-590</u> Fa		:(175) <u>879 - 5</u>		
Email: Charris 126@ gn	ail.com Email:	Charris 926	(C gnail ion	
Interest in Property:	V			
3. TYPE OF APPLICATION (che	ck all that apply)		an a	
Minor Subdivisi		pretation ¹		
Preliminary Maj		l of Administrative		1
Final Major Sub		cate of Non-Conform) Variance ¹	mity	
Preliminary Maj		c) Variance ¹		
Final Major Site		ional Use ¹		
Amended Plan		Vacation Request		
Site Plan Walve	r 🗖 Rezon	ing Request ¹		
Concept Plan				
¹ Legal advertise	ment and notice is required to all prop	erty owners within 20)0 feet.	
4. ATTORNEY (A corporation, part	nership, limited liability company or par	nership must be repre	sented by a New J	ersey Attorney)
Name: N/A	City:	lite and a second s	State:	_Zip:
Address:	Phon	e:()	Fax:(_)
	Emai	€ 	0	

	_ Name:		·
Name: MY Deck L/C Profession: Builder Architect			
Address: <u>8 Rovje 31</u>			
City: <u>Flominy fon</u> State: NT Zip: 08922			
Phone:(908) <u>7/3~1000</u> Fax:()			
Email: in to a myself com	Email:		
6. LOCATION OF PROPERTY		n an the state of the	:
Street Address: 11 Cedar Tree Lane	Block(s): Lot(s):	108:13	- MI
Zoning District: <u><u><u>RLP</u></u></u>	Historlc District:		
7. LAND USE			
Existing Use: Single family			
c Proposed Use (be specific): <u>Single tamily</u> .	< setback Renn	rements on the.	extension.
c Proposed Use (be specific): <u>Single tamily</u> . <u>Ced vesting a variance on the rea</u> <u>a deek (Principal Guildig)</u> and construct	< setback Renn	rements on the.	extension .
c Proposed Use (be specific): <u>Single tamily</u> .	<u>setbuck Reavin</u> tim of a patio (aca	enents on the . 2807 Building).	extension .
<u>c</u> Proposed Use (be specific): <u>Single tamily</u> . <u>(ed. vestry a variance on the real</u> <u>a deek (Principal building)</u> and construct 8. PROPERTY	<u>setbuck</u> Reavin tim ut a patio (aca <u>Proposed Form</u>	enents on the . 280-1 Building). 1 of Ownership:	extension .
<u>c</u> Proposed Use (be specific): <u>Single tam//y</u> . <u>(ed.vestry a variance on the rea</u> <u>a deek (Principal buildly)</u> and construct 8, PROPERTY Number of Existing Lots:	<u>setbuck</u> Reavin hin ot a patio (aca <u>Proposed Form</u> □ Fee Simple	<u>enents on the</u> <u>280-1 Buildin</u>). <u>n of Ownership:</u> □ Condominium	extension .
<u>c</u> Proposed Use (be specific): <u>Single tam//y</u> . <u>(ed. vesting a variance on the real</u> <u>a deek (Principal buildly)</u> and construe 8. PROPERTY Number of Existing Lots: Number of Proposed Lots:	<u>setback</u> Requin <u>tim of a patio (aca</u> <u>Proposed Form</u> □ Fee Simple □ Rental	<u>enents on the</u> <u>28a-1 Buildin</u>). <u>a of Ownership:</u> □ Condominium □ Cooperative	<u>extensi un a</u>
<u>c</u> Proposed Use (be specific): <u>Single family</u> <u>(ed. vesting a variance on the readed deek (Principal buildly)</u> and construct 8. PROPERTY Number of Existing Lots: Number of Proposed Lots: Are there Existing Deed Restrictions or Easements?	<u>setbuck</u> Reavin him of a patho (aca <u>Proposed Form</u> E Fee Simple Rental ENo	<u>enents on the</u> <u>250-1 Buildin</u>). <u>n of Ownership:</u> □ Condominium □ Cooperative □ Yes (please atta	<u>ex lea si on a</u> ach copies)
<u>c</u> Proposed Use (be specific): <u>Single tamily</u> <u>(ed. vesting a variance on the real</u> <u>a deek (Principal building)</u> and construct 8. PROPERTY Number of Existing Lots: Number of Proposed Lots: Are there Existing Deed Restrictions or Easements? Are there Proposed Deed Restrictions or Easements?	<u>setback</u> Requin <u>tim of a patio (aca</u> <u>Proposed Form</u> □ Fee Simple □ Rental	<u>enents on the</u> <u>28a-1 Buildin</u>). <u>a of Ownership:</u> □ Condominium □ Cooperative	<u>ex lea si on a</u> ach copies)
<u>c</u> Proposed Use (be specific): <u>Single family</u> <u>(ed. vesting a variance on the readed deek (Principal buildly)</u> and construct 8. PROPERTY Number of Existing Lots: Number of Proposed Lots: Are there Existing Deed Restrictions or Easements?	<u>setbuck</u> Reavin him of a patho (aca <u>Proposed Form</u> E Fee Simple Rental ENo	<u>enents on the</u> <u>250-1 Buildin</u>). <u>n of Ownership:</u> □ Condominium □ Cooperative □ Yes (please atta	e <u>y lea Si on</u> ach copies) ach copies)
<u>c</u> Proposed Use (be specific): <u>Single family</u> . <u>(ed. vesity a variance on the real</u> <u>a deef (enAgral building)</u> and construct 8. PROPERTY Number of Existing Lots: Number of Proposed Lots: Are there Existing Deed Restrictions or Easements? Are there Proposed Deed Restrictions or Easements? 9. UTILITIES (check all that apply)	<u>setback</u> Reavin t <u>in of a patio (aca</u> <u>Proposed Form</u> E Fee Simple Rental INO ZNO	<u>ements on the</u> <u>esart Buildin</u>), <u>of Ownership:</u> □ Condominium □ Cooperative □ Yes (please atta □ Yes (please atta	e <u>y lea Si on</u> ach copies) ach copies)

11. ZONING SCHEDULE (complete all that apply)Minimum Lot Requirements:RequiredExistingProposedLot Area: $2 acres$ $52 agres$ $53 agres$ $53 agres$ Lot Area: $2 acres$ $53 agres$ $53 agres$ $53 agres$ Lot Width: $175 ft$ $15t ft$ $15t ft$ $15t ft$ Lot Depth: $150 ft$ $15t ft$ $15t ft$ Lot Coverage: $2191b ft$ $2133 ft$ $2141 ft$ Impervious Coverage: $14go ft$ $43bg ft$ $4111 ft$
Yard Requirements:(in ft.)Principal Building7.5 $$0.8$ $$0.8$ Front Yard:7.5 $$0.8$ $$0.8$ One Side Yard: 30 31.8 $$26.8$ Both Sides: $$0$ 79.4 78.4 Rear Yard: 75 $$0.6$ 45.6
Accessory Building $(inft)$ 7550.850.8Front Yard:3041.647.6Side Yard:3050.630
Is the property a corner lot? Yes No
Signage Requirements: NA Façade Sign area 1: Façade Sign area 2:
12. PARKING & LOADING REQUIREMENTS
Number of Parking Spaces REQUIRED: Number of Loading Spaces REQUIRED: Number of Parking Spaces PROVIDED: Number of Loading Spaces PROVIDED:
 13. RELIEF REQUESTED (check all that apply) ✓ Zoning Variances are requested. □ Exceptions from Municipal Requirements are requested (<i>N.J.S.A. 40:55D-51</i>). □ Exceptions from New Jersey Residential Site Improvement Standards (R.S.I.S.) are requested (<i>N.J.A.C. 5:21-3.1</i>). □ Waivers from New Jersey Residential Site Improvement Standards (R.S.I.S.) are requested (<i>N.J.A.C. 5:21-3.1</i>). □ Waivers from New Jersey Residential Site Improvement Standards (R.S.I.S.) are requested (<i>N.J.A.C. 5:21-3.1</i>). □ Waivers from New Jersey Residential Site Improvement Standards (R.S.I.S.) are requested (<i>N.J.A.C. 5:21-3.1</i>). □ For any type of the above relief requested, a separate exhibit should be attached stating the factual basis, legal theory, and/or previously granted relief.
14. SIGNATURE OF APPLICANT
I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual applicant, or that I am an Officer of the Corporate applicant and authorized to sign the application for the Corporation, or a General Partner of the partnership application. Sworn & SUBSCRIBED to before me this 9/1/2s Sworn & SUBSCRIBED to before me this 920 (year) Stignature (applicant) Date Multi M. M. M. (notary) Mistage Mars PRINT NAME
RICHARD D COX Notary Public – State of New Jersey My Commission Expires Apr 17, 2022

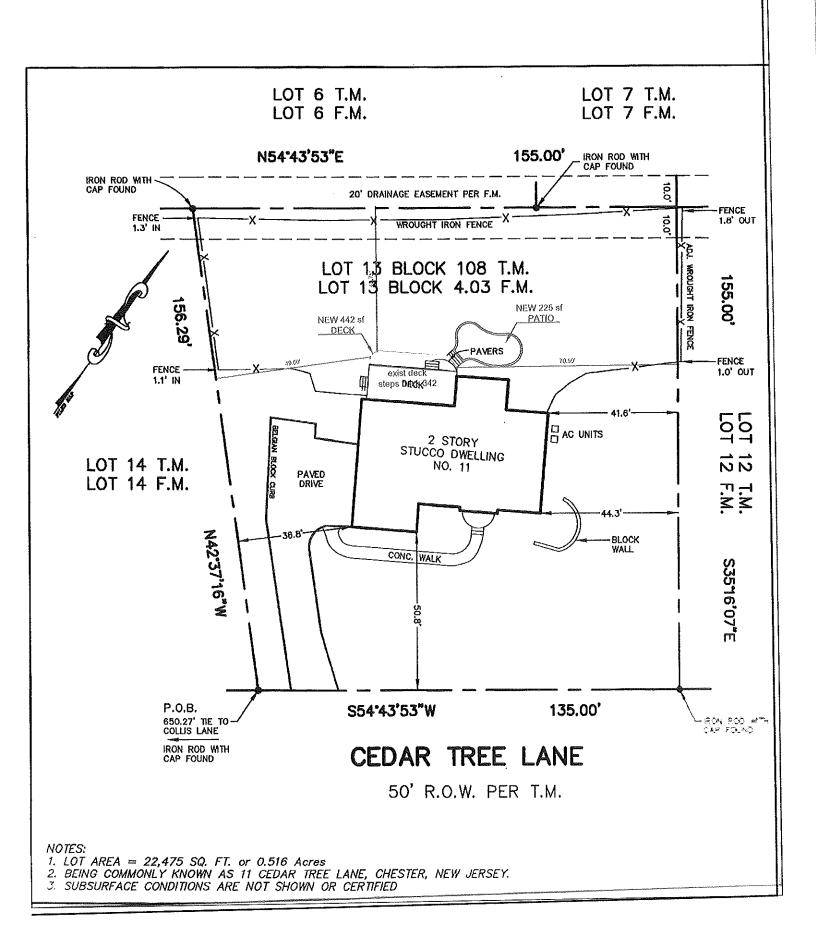
15. CONSENT OF OWNER	
to the making of this application and the approva	ch is the subject of this application, hereby consent I of the plans submitted herewith. I further consent with this application as deemed necessary by the solution must be attached authorizing the application $\frac{q}{1/20}$ SIGNATURE (owner) DATE Christian Hamis PRINT NAME
14 DISCLOSURE STATEMENT (divelo all that apply)	
16. DISCLOSURE STATEMENT (circle all that apply) Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer	• the following questions:
Is this application to subdivide a parcel of land into six	(6) or more lots?
Is this application for a variance to construct a multip	le dwelling of twenty-five (25) or more units? Yes
Is this application for approval of a site (or sites) for n	on-residential purposes? Yes 💧
Is the applicant a corporation?	Yes (1)
Is the applicant a limited liability corporation?	Yes Mo
Is the applicant a partnership?	Yes No
or at least 10% of the interest in partnership (which Does a corporation or partnership own 10% or mor the names and addresses of stockholders of that con	e of the stock in this corporation or partnership? If yes, iss poration holding 10% or more of the stock or 10% or greater e). This requirement is to be followed by every corporate ddresses of the non-corporate stockholders and individua
17. SURVEY WAIVER CERTIFICATION	
As of the date of this application, I hereby certify the date of <u>Novenker</u> 17, 2017 sho	d, or otherwise located on the premises after the dat
SWORN & SUBSCRIBED to before me this / ST day of Septem PEA 20,2 P(year) Much I.C.	PRINT NAME
Notary Public	ARD D COX State of New Jersey State Apr 17, 2022

RICHARD D COX Notary Public -- State of New Jersey My Commission Expires Apr 17, 2022



SURVEY OF LANDS IN: BURDU MORRIS COUNTY, NEW JERSEY	
	BLOCK 4.03 AS SHOWN ON A CERTAIN MAP ENTITLED F CHESTER, MORRIS COUNTY, N.J.", WHICH MAP WAS FILED RCH 17, 1988 AS MAP NO. 4658
	DATE: 11/17/17
Scale: 1" = 30'	
PMC Land Surveying 18 Church Street No. 92 Denville, NJ 07834 TEL: 973-664-1115 FAX: 973-664-1135 TEL: 973-664-1115 FAX: 973-664-1135 TEL: 973-664-1115 FAX: 973-664-1135	RECORD AND OWNER TO BE IN ACCORDANCE WITH DISCLOSE. CERTIFIED TO BE IN ACCORDANCE WITH PERTINENT NEW JERSEY LAWS AND REGULATIONS AND WITH CURRENT ACCURACY STANDARDS ONLY TO: CHRISTOPHER HARRIS AND MARISSA HARRIS, HUSBAND AND WIFE PROPERTY TITLE GROUP, LLC OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY PNC BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS D'ALESSANDRO & D'ALESSANDRO, LLC
PATRICK A. OILLEND PROFESSIONAL LAND SURVEYOR LIC. No. GS43228	Title No. 838234
Drawn By: FPF Revisions: 0	Project # 171012 11tle No. 20020 .

Plans for Deck and Patio



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JER	NOISIVIDEUS	SITEPLAN		NOISIVICAUS	SITE FLAN	NOISINICANS	SITE PLAN	(q) pure (s)	SSD-70		\$		APPLICANT MAKK		BOROUGH MARK	
ITEM NUMBER	S		CONC	N		5						Application form along with filing and		COMPLIES		NOTES
1					•	.				•	•	escrow fees, checklist and waiver justification		N/A WAIVER		
2		•				Ι.					•	Certification of ownership or authorization to file application.		COMPLIES N/A WAIVER		
											•	Certificate from the Borough Tax Collector that all taxes and assessments are paid to date.	Ì	COMPLIES N/A WAIVER		
3 4		•	•	•	•		•		-	•		Site inspection form.	2	COMPLIES N/A WAIVER		
5												Proof of submission to Shade Tree Commission.	Z	COMPLIES N/A WAIVER COMPLIES		
	Local distances and the same											The names and lot/block numbers of all property owners within 200 feet of the extreme limits of the tract as shown on the most recent tax list prepared		N/A		
6		•		•	•		-	<u> </u>	•	•	•	by the Borough Tax Assessor. Copies of applications to the Morris		WAIVER COMPLIES		
7												County Planning Board, Morris County Soil Conservation District, and/or NJDOT, if applicable, or letter of non-jurisdiction.	1	N/A WAIVER		
		•						<u>}</u>				Survey prepared by a licensed surveyor of the State of New Jersey depicting: existing features, property boundaries, street lines, setback lines, lots,	~	COMPLIES N/A		
										•		reservations, easements, dedications, ROW's.	┝	WAIVER.		
8		•									-	Plans signed and sealed by a N.J. professional engineer and certified by a licensed land surveyor		COMPLIES N/A		-
9							•	•		•	•	as to existing features and boundaries, folded into eighths with title block revealed.	ľ	WAIVER		-
												Architectural data, including floor plans, elevations for at least four sides of all proposed buildings and depiction of proposed building	ŕ	N/A		
10		•						•		•	•	materials and external finishes.	Ţ	WAIVER COMPLIES	+	
												such approval shall be certified on the plat, or evidence shall be submitted that an application has been made for approval.	L.,	N/A		
11					•	•	•	•		٠				WAIVER		

	MINC	DR	AT	MA	OR .BM		TNAL		VARI/ 40:551	ANCE)-70						MARK	
BEK	SUBDIVISION	SITE PLAN	CONCEPT SUBD, PLAT	NOISIVIDENS	STTE PLAN			SITE PLAN	40.551 (4) pure (8)	(9)	E	3		APPLICANT MAKK		BOROUGH MARK	
ITEM NUMBER	5		CON	S.			s								STATES		NOTES
			Γ										Scale of not less than one inch equals 50 feet on final subdivision plats, and one inch equals 100 feet		, Olat First	1	
												1	on minor site plans. Site plans of one acre or less shall utilize a scale not less than one inch equals 20	╉	N/A		
													feet. Drawings shall be one of following standard				
												•	sheet sizes: 8 1/2"x13"; 11"x17"; 24"x36", 30"x42"		WAIVER		
12	ŀ	•	╞	•	╉	•	•	ŀ		┿	╉	•	Key Map showing the location of the tract with		COMPLIES		
													reference to the surrounding properties, existing streets and streams within 1,000 feet of the site.	7	N/A		1
							ĺ						Scale not less than 1"==500'		WAIVER		
13	•	•	•	ŀ	+	•	•	ŀ		ŀ	╀	•	Name of subdivision or development, Borough of		COMPLIES		
										.			Chester Morris County.	V	N/A WAIVER		
14	•	•	╉			-	Ť	F	\top	Ť	ϯ		Name, title, address and telephone number or		COMPLIES N/A		
15		•				•	•			•		•	subdivider or developer.	È	WAIVER COMPLIES		ļ
]												Title block conform to N.J.S.A. 45:8-36, N.J.A.C. 13:40-1, N.J.A.C. 13:40-2,	\vdash	N/A		
													including name, title, address and license number of the professionals who prepared the plot or plan.	ŕ	WAIVER	<u> </u>	-
16	•	•	•	-	•	•	•	<u> •</u>			-	•	Name, title and address of the owner or owners of	F	COMPLIES		_
17						•		.			,	٠	record. If owner is a corporation, the list of corporate owners shall be submitted.	V	N/A		_
- •															WAIVER		
	╎			T					Τ				North arrow with reference meridian. Scale (written and graphic).	2	N/A		
18				•	•	•	•		<u> </u>		<u> </u>				WAIVER		
	STR DI STR												Date of original preparation and of each subsequent revision thereof and a list of specific revisions	ŀ	N/A		-
19					•	•						•	entered on each sheet.	L	WAIVER		
		-	Ť	╈	-†	<u> </u>	1			╈			Signature blocks containing spaces for signatures of Chairman and Secretary of the Board, and Borough		COMPLIES		4
20		•			•	۰	•	•			•	•	Engineer.	ľ	WAIVER		4
												L.				1	

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Yildi	SUBDIVISION	SITE PLAN		CEPT SUBD. PL	NOISIVICIAN	SITE PLAN	NOISIVIDEN	SITEPLAN	(q) pure (e)	SD-70	2	9		APPLICANI MAKA		BOROUGH MARK	
II EM NUMBER			8	ĝ											STATUS		NOTES
,												•	Acreage to the nearest hundredth of an acre; distances in feet to the nearest two decimal places for all property lines, bearings given to the nearest 10 seconds. Radii, arcs, central angles and chord bearings and distances of all curves.		N/A N/A WAIVER		
21	•	•		•	•	•	•	•			•	•	Existing tax map sheet no. and existing block and lot no. of the lots to be subdivided or developed as they appear on the Borough Tax Map. Distance, measured along ROW lines of abutting streets, to the nearest intersection with other public streets.	~	N/A N/A WAIVER		
22	•	•	<u> </u>	•	•	•	•	!	╞		•	8	Zoning districts affecting the tract and within 200		COMPLIES		
											•		feet. District names and tabular schedule of requirements and proposed conditions as required by the ordinance, including variance and waiver requests noted on the plat or plan.	-	N/A WAIVER		
23	•	•	•	•	•	•					•		The locations and dimensions of all existing improvements. Indication of structures to remain and to be removed with spot elevations and		COMPLIES		
													setbacks of such structures. Location of all existing structures including railroads, bridges, culverts, drain pipes and other man-made installations and	2	N/A.		-
24	.		•								•		wooded areas within 200 feet of the property boundary.		WAIVER		
<u>27</u>			-										The location of all existing and proposed storm drainage structures and utility lines whether public or privately owned, with pipe sizes, inverts, grades		COMPLIES N/A	_	
													and direction of flow, location of inlets, manholes and other appurtenances within 200' of the site.	4	WAIVER		
25	╞		•	╞	+•	+•	-		╞┼╴			$\left \right $		╞	COMPLIES	1	
													Separate landscape plan drawn to scale of not more than $1^{"}=20^{\circ}$. The landscape plan shall include the requirements at §163-47.(33) and §163-49G.	1	N/A WAIVER		
26		,	•														

	MINC)R	Ϋ́	MA	IOR	15	UJAL.		VARIA	NCI	-		K		ÍARK	
ITEM NUMBER	SUBDIVISION	SITE PLAN	CONCEPT SUBD. PL		STTE PLAN		NOISIVIDEUS	SITE PLAN	(a) and (b)	(9)	(g)		APPLICANT MARK	STATUS	BOROUGH MARK	
		<u> </u>	╇					•	<u> </u>			Delineation of watercourses and streams,	-	55 COMPLIES		NOTES
												floodplains and delineation of all wetlands and		N/A.	+	1
												wetland transition areas within 200' of the tract.	-	WAIVER		
7			ļ			•	٠	•		٠	•			COMPLIES	_	
	Γ	1	Τ		T							Off-tract improvements as may be required in	7	N/A		{ [
28						•	•	•			ļ	accordance with §163-30.		WAIVER		
<i></i>		1	╈	t	┢							Existing contours, based on USGS datum with a		COMPLIES	1	
												contour interval of 2 feet for slopes less than 10%, and 5 feet for slopes 10% or more, to be indicated by a dashed line.		N/A		9
29												Where any changes in contours are proposed, finished grades should be shown as solid lines.		WAIVER		
49 200			╉	╀	-	-	-	ŀ	+	+		Property boundaries, lines of existing streets, lots,		COMPLIES		
												reservations, easements and areas dedicated to	F	N/A		
												public use, including grants, restrictions, and rights- of-way, as applicable.	ľ	WAIVER		
30					,	•				•	•		L	(a) (b) (b)		
			╈									Deed descriptions, including metes and bounds,		COMPLIES		4
31	•				ļ		•					easements, covenants, restrictions, exceptions and roadway and sight triangle dedications.	Ľ	N/A		
												Toadway and sight multiple dedications		WAIVER		
	╈		\uparrow	\uparrow	╋			┢	\top	1	Τ	Soil types as per the County Soil		COMPLIES		
		1										Conservation District. Proposals for soil erosion and sediment control as required by N.J.S.A. 4:24-	2	N/A	T	
22						•		Ι.				39 et seq.	Γ	WAIVER		
32	•	•				<u> </u>					+	Locations of existing rock outcrops, high points, water-courses, ponds depressions, marshes, wooded areas, single trees not in wooded areas with a		COMPLIES		
												diameter of 6 inches or more as measured three feet above the base of the trunk, and other significant	,	NA		
~~						÷						existing features, including previous flood elevations of watercourses, ponds and marsh areas as determined by survey.		WAIVER		
33	-	· •	+	╋	•	•	┢		<u>'</u>		┼╴	Required front, side and rear setback lines for	t	COMPLIES		
										1		property and within 200'.	ŀ	N/A WAIVER	_	
34	ŝ •	•		•	•	٠	•	•		!	-					1

	MINO)R	₽	M	IAIÓ CELD	R	EDIAL		VARI/ 40:551	NCE			ARX		IARK	
ITEM NUMBER	SUBDIVISION	SITE PLAN	CONCEPT SUBD. PL	ST INDIVICION 2		SITE PLAN	ENOISIAI CARA	SITE PLAN	(a) and (b)	9	(q)		APPLICANT MARK	STATUS .	BOROUGH MARK	NOTES
	ļ	ļ		╀					<u> </u>			The proposed use of land and the size, height and	\neg	COMPLIES		NOTES
	1										1	location and use of all proposed buildings,		N/A	+	
												including all proposed floor elevations and	4			
35		.			•							proposed grades.		WAIVER		
	╞	<u>├</u>	╉	╋	-				†			Location and size of all proposed signage including		COMPLIES		
												design and lighting details. If no signage is proposed, a statement to that effect shall be added		. N/A		
												to the plan.		WAIVER	-	
36	•	•	_	1		•	<u> </u>	•	<u> </u>	_	•	The proposed location, direction of illumination,	Н	COMPLIES	+	
												power and type of proposed outdoor lighting,	Ц			
												including details, intensity in foot-candles on	1	N/A		
												ground and hours of operation. Site lighting to be designed in accordance with $\S163-47(41)$.	Γ	WAIVER		
37	<u> </u>	•	_	╞	٠	•	<u> </u>	ŀ		+	╞	The location and design of any off- street parking		COMPLIES		<u> </u>
												and loading areas, showing size and location of		N/A		
38		•			٠	•	•	•				bays, aisles and barriers.	F	WAIYER		4
												All means of vehicular and pedestrian access for ingress and egress to and from the site onto public streets, showing the size and location of driveways and curb cuts, including the possible utilization of traffic channels, channelization, acceleration and		COMPLIES N/A		-
												deceleration lanes, additional width and any other device necessary to prevent difficult traffic situations.		WAIVER		
39	•	•			•	•		•	·	4	•	Plans showing all existing drainage within 500 feet	╋	COMPLIES		
												of any boundary. Stormwater management	-	N/A.	_	-
												calculations depicting compliance with all state and	د ا	WAIVER		-
40												local codes (See §163-47(34)).		DAVIAGE		
40					•		-		<u></u>			The location of all existing and proposed waterlines, valves and hydrants, and all sewer lines or alternative means of sewerage and sewage		COMPLIES		
												disposal and treatment in conformance with the applicable standards of the Borough and for the appropriate utility company,		N/A		
<u>41</u>					.							Location of all fire protection systems in accordance with §163-47(31).		WAIVER		

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	NOISIVICED	SITE PLAN		CONCEPT SUBD, PI	A PLANOISINIDAUS	SITE PLAN	SUBDIVISION		SITE PLAN	40 SSD (4) pure (8)	(6)	(q)		APPLICANI MAKN	STATUS	BOROUGH MARK	
		1	1											-	COMPLIES		NOTES
													All proposed easements, and public and community areas. All proposed streets and contiguous streets with profiles, indicating grading; and cross sections showing width of roadway, curbs, location and width of sidewalks and location and size of any		N/A		
													utility lines conforming to Borough standards and specifications.	-	WAIVER		
2					٠	•		_	٠	<u> </u>	<u> </u>		Location and description of existing and proposed		COMPLIES		
													permanent monuments, whether set or to be set.	-	N/A		1
3				Į	١.										WAIVER		
5	+-	+		┢		╈	╈					1	Lot block and street numbers as approved by the		COMPLIES		
													Borough Tax Assessor of the Borough of Chester, including lot and block numbers and owners of the	7	, N/A		
		ł								ļ	ļ		abutting properties.	Η	WAIVER	-	1
14	+•	+-		╀	•	+	+	•				-	All areas disturbed by grading or construction with total amount of disturbance in square feet. Soil		COMPLIES	-	
													Erosion and Sediment Control plan including location and details in accordance with State and	2	N/A		-
													local codes.	F	WAIVER		
45		•-		_	-	·'			┝		+	╀	Existing and proposed off street loading areas and	┢	COMPLIES		
46			•										trash and recycling locations.	~	- N∕A		
													Duran an Alizanda	╋	WAIVER		
		Т		Ţ									A Letter of Interpretation or Presence or Absence Determination from the NJDEP concerning		N/A	_	
													freshwater wetlands.	Ľ	 waiver		4
47						•	•							1_			
	1			T									For each lot not served by public sewer, approval by the Borough Board of Health indicating that the proposed lot(s) can adequately accommodate a		COMPLIES		
													septic system in compliance with all state and local regulations. When when a new connection or increased flow to the Borough sanitary system is		N/A		
													proposed, an adopted resolution of the Borough Council approving the application.		WAIVER		
48		•	٠			•	٠			<u>• í</u>				. . .	1	l	

	MINO	R	LAT	MA	IOR IM	F	INAL.	. 1	tan s	IANC 5D-70							
	NOISIVIDEUS	SITE PLAN	CONCEPT SUBD. PLAT	NOISIVIDEUS	SITE PLAN		SUBDIVISION	SITE PLAN	(q) pue (t)	(v)	2	(ç)		AFFLICANT	STATUS	WWW LIDDOXOA	
			ľ	ļ											STA		10TES
	$\left - \right $		╉	┢	╀╴				┢╌	╈	+		The location of the portion of the tract which is to	C	OMPLIES		
									1				be subdivided in relation to the entire tract and in	オ	N/A		
9	•		•	•			٠		İ.				relation to all properties adjoining the tract.		VAIVER		
									1						OMPLIES		
			╈	T	T			Γ	Τ				The proposed pattern of any street layouts within	_	N/A		
													the subdivided plat.	4	VAIVER		
0			•	•			٠						t under the built and		COMPLIES		
.,			Т	T									All streets or roads proposed, mapped or built and streams within 500 feet of the subdivision.	7	N/A		
		1											streams within 500 icer of the substration.		WAIVER		
1		L	•		4		•	<u> </u>	+-				Financial disclosure in accordance with		COMPLIES		
				1									§163-61.C.(12) and business experience and		N/A		
52	•	•	•	· ·	•	•	•	•		•	•	•	history in accordance with §163-61.C.(13).	Ĥ	WAIVER		
					_		┞		\downarrow			_	Certifications in accordance with the Map Filing		COMPLIES		
													Law.	H	Ν/Λ		
												ļ	Law.	H	WAIVER		
53			_		_		•	╞	_			<u> </u>			COMPLIES	<u> </u>	ļ
		1					1					1	As-built survey	5	N/A		
														Γ	WAIVER		<u> </u>
54	╋		-	+	╉		╋	┽	╧┼╴	-		┢	Certification by the applicant's surveyor and	Γ	COMPLIES		
													lengineer as to the accuracy of the details of the plat.	ī	N/A	1	1
							1						Certification of compliance with RSIS, or provide a	₽	WAIVER	+	1
55	Ι.				•	•			•]			list of exceptions proposed.	\downarrow	COMPLIES		
	+	+		+	-1		1	╈					Plan of all utilities together with a cost estimate of			_	-
													the installation of all public and non-public	L	N/A		
													improvements to be installed.	Γ	WAIVER		
56	_	_ _		_	•	•	╇	╹┼╴	•		╞─	┼╴	Written proof that all lands set aside or shown for	Τ	COMPLIES		
													easement, public use or streets are free and clear of	ı	N/A		
57	1											1	ail liens and encumbrances.	L	WAIVER		<u> </u>
┣							╉	-	-†		┢	+	Letters directed to the Chairman of the Board and	L	COMPLIES		1
												ļ	signed by a responsible official of all utility	ľ	N/A		
													companies, etc., providing service to the proposed	F	WAIVER		
58		_		\square		 		•	•	•••••	╀	╋	development. All applications for wireless telecommunications	╧	COMPLIES		
													facility, shall provide the items listed in Section	F	N/A	+	1
59	- I	1		1		I I			•		1.	1	§163-47(40).		WAIVER		_

	MIN	OR	Ę	MAJ	DR.	Erout		VARIA				Å RK		MAR	
	[121	PREL	<u>M</u>	FINA		40:55D	10	-		£1		12	
ITEM NUMBER	NOISIVIDEUN	SITE PLAN	CONCEPT SUBD. I	SUBDIVISION	SITE PLAN	SUBDIVISION	SITE PLAN	(a) and (b)	(c)	(p)		APPLICANT	STATUS	BOROUGH MARK	
ã.	1				1	1			1		1		ST		NOTES
ã –							ļ		ļ	ļ	a to to to a OF and a summer to I Impost Statement in		COMPLIES	T	
								1	1	1	Submission of Environmental Impact Statement in		N/A		1
	1				1					1	accordance with Article VIII		WAIVER		
<u>i0</u>				•	-	- 	ļ						COMPLIES		
	1	1		ļ								┍	N/A]
		1	1								Submission of Traffic Impact Study	┢╴	WAIVER		
51	_			<u> </u>	-			<u> </u>		! •	Submission of Land Disturbance Permit	Γ	COMPLIES		
		1			Į						Application and a Soil Moving Permit Application	-	N/A		1
	1			ļ	1	1					pursuant to Chapter 197	Γ	WAIVER		
62	•	•			٠			1					<u></u>		
งกา	1 1	Board	ma	v re	onire	and	ask	for ad	ditio	nal i	nformation.				
101	. 1 9 1 1	1 D.V.(B.V								form	ily residential bulk variances.		ST 72 7 7 7 7 7 7 7		a de la companya de l La companya de la comp

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ESCROW AGREEMENT

THIS AGREEMENT made on the

day of Septer 1, 2020

(Name) is hereinafter referred to as the "Applicant", the Land Use Board of the Borough of Chester is hereinafter referred to as "Board", and the Borough of Chester in the County of Morris is hereinafter referred to as "Borough".

WHEREAS, the Ordinance requires the Applicant to establish an escrow whereby work required to be performed by professionals employed by the Board will be paid for by the Applicant as required under the provisions of the Ordinances;

NOW, THEREFORE,

SECTION 1. PURPOSES

The Applicant agrees to pay all reasonable professional fees incurred by the Board for the performance of its duties.

SECTION 2. ESCROW ESTABLISHED

The Applicant hereby creates an escrow to be established within the Borough.

SECTION 3. ESCROW FUNDED

The Applicant, upon execution of this agreement, shall pay to the Borough such sums as are required by Ordinance to be deposited in the repository referred to in Section 2.

SECTION 4. INCREASE IN ESCROW FUND

If, during the existence of this Escrow Agreement, the funds held by the escrow shall be insufficient to cover any voucher or bill submitted by the professional staff and reviewed and approved by the Land Use Administrator. The Applicant shall, within fourteen (14) days of receipt of written notice, deposit additional sums with the escrow holder to cover the amount of the deficit referred to above and such additional amount reasonably anticipated by the Land Use Administrator needed to complete the application process. Additionally, until such funds are fully replenished, no further consideration, review, processing of any pending application shall be permitted by the Land Use Board, nor shall any further inspections be performed by or on behalf of the Borough until such additional escrow has been deposited. Failure to post sufficient escrow funds to cover costs incurred or anticipated shall toll the period for action by the approving authority, as required by N.J.S.A. 40:55D-1 ef seg and particularly N.J.S.A. 40:55D-51 and N.J.S.A. 40:55D-73 thereby barring an applicant from seeking a default approval under N.I.S.A. 40:55D-10.4.

\sim	The written notice referred to I	n this paragraph shall be sent to:
(lis	14 oc	11 Ceder Trey Lano
NAME	- FRAIS	Chestr NJ 8792
		ADDRESS

Unless otherwise shown, receipt shall be presumed to have occurred three (3) days after mailing.

After a period of forty-five (45) days from the notice from the Borough, the applicant's failure to deposit the additional funds shall be grounds for denial of the application or for dismissal of the application without prejudice. In the event the Board approves the application, the obligation to pay for professional plan reviews fees by depositing the funds in escrow shall be a condition of the approval granted by the Board. If the escrow funds are depleted, after the application is filed or granted, the applicant shall pay additional

funds upon demand within the aforementioned fourteen (14) day period. The failure to pay, the demanded funds may also result in a voiding of any prior approvals upon due notice to the applicant by the Board. In addition to the foregoing, the Applicant hereby agrees that in the event the reasonable and necessary amounts charged by the professionals for review of the application are not paid, the outstanding fees shall be deemed a lien on the above-described property and shall be collectable as in the case of taxes by the adoption of a resolution by the Borough governing body upon receipt of a certification that the amounts are due and owing pursuant to this agreement.

In the event of the sale or transfer of property which is the subject of a development application or a change in the identity of the applicant, all funds on deposit pursuant to this agreement shall run with the development application affecting the property in questions and shall be considered to be the asset and/or obligation of any subsequent owner or applicant unless the initial owner or applicant provides written notice to the approving authority, and to the professionals providing review services, that the initial owner or applicant has specifically reserved ownership rights of the escrow account. In the event such a notice is received by the Borough officials and professionals, no further review shall be undertaken by relevant professionals until the new or subsequent owner or applicant has established an escrow account and signed an escrow agreement.

SECTION 5. TIME OF PAYMENT

The professionals referred to in this Agreement, upon the conclusion of their services or periodically during the performance of their services, shall submit vouchers conforming to the requirements established by the Borough for vouchers of the type and kind referred to under this paragraph. Said vouchers shall include the amounts of all fees and costs incurred as a result of the services set forth under Section 1 of this Agreement.

SECTION 6. PAYMENTS FROM ESCROW FUNDS

The Land Use Administrator shall review the vouchers submitted by the professionals to determine whether the services have been performed in the manner and to the degree required by this Agreement. Upon making a determination that said services have been performed properly, the Land Use Administrator shall process said vouchers in the same manner and under the same terms as are normally employed for vouchers submitted for work performed on behalf of the Borough. At the conclusion of this processing, the amounts specified in said vouchers shall be paid by the escrow holder from the escrow established pursuant to this agreement.

SECTION 7. APPLICANT NOTIFICATION TO DISPUTE CHARGES

Pursuant to N. J. S. A. 40:55D -53. et seq. applicants shall notify in writing Chester Borough Land Use Board and the professional whenever applicants disputes the charges made by a professional for service rendered to the municipality in reviewing applications for development, review and preparation of documents, inspection of improvements, or other charges made. The Borough, or its designee, shall within a reasonable time period attempt to mediate any disputed charges. If the matter is not resolved to the satisfaction of the applicant, the applicant may appeal to the Morris County Construction Board of Appeals.

SECTION 8. RETURN OF UNUSED ESCROW FUNDS

Escrow funds cannot be refunded for at least one hundred twenty (120) days from the time of a final decision of the Land Use Board. After one hundred twenty (120) days, a request to refund unused escrow may be made by letter.

IN WITNESS WHERE OF, the parties hereto have set their hands and seals the date first written above.

SIGNATURE (Applicant*)

* If the applicant is a corporation, this signature must be attested to by an attorney.

Form (Rev. October 2007)

Request for Taxpayer Identification Number and Certification

Internel	Recence Service				
<u> </u>	Name (as shown on your hoome tax return				
¢.	Christopher Harris				
ón page 2	Business name, if different from, above				
5			·		
e s	Check appropriate box: Windwidual/Sole proprietor. Corporation United liability company. Enter the tax classification (Dedisregarded ent	Partnership	ship): 🕨 📖		
Ž	Li United liability company. Enter the tax classification (Lied)sregarded and				197 A 22
Print or type See Specific Instructions	Address (number, street, and apt or suite no.)	Req	uester's na	me and s	address (optional)
	11 Cedar Tree Lane				
Ĩ,	City, state, and ZIP code				
8	Chesk, NJ 07930			<u>~ </u>	
8 9	List account numberies here (optional)				
ζΫ,					
Par	Taxpayer Identification Number (TIN)				······································
-		ame often on Line 1 to as	vold Se	cial sec	unity number
Enter	your TIN in the appropriate box. The TIN provided must match the r p withholding. For individuale, this is your social security number (SS	SN). However, for a reside	nt	50	18 5284
allen.	p withholding. For individuals, mis is your sockil security induces on a sole proprietor, or disregorded entity, see the Part I instructions on a	page 3. For other entities,	itie 🦟		ör
ACCORD.	employer identification number (EIN), if you do not have a national a	and the second se		noiovor	dentification number
Note	. If the account is in mote than one name, see the chart on page 4 fr	ol dridelinee ou Muore.			
	per to enter:				
	t II Certification				
Unde	r penalties of perjury, I certify that		a numbe	to be l	saved to me), and
11 T	r penalties of perjury, I cerury that he number shown on this form is my correct texpayer identification r		bil bava n	of been	notified by the Internal
2.	he number shown on this form is my correct taxpayer deminiation am not subject to backup withholding because; (a) I am exempt from tevenue Service (IFIS) that I am subject to backup withholding as a re-	a packup with longing, or w	all interest	or divid	ends, or (c) the IRS has
F.	tevenue Service (IPS) mat ran subject to backup withholding, and	addin ei it Weisen of e Africe		,	
	the state with the state of the second state of the				er verster Statistic Madia Mada
Cert	ifigation instructions. You must cross out item 2 above if you have	been notified by the IRS t	nat you an	e cueren	item 2 does not apply
• withi	iolding because you have tailed to report all interest and united to		a sintella di	na tei an	Individual ratirement
A	memory (IHA) and deneminy DEVIDENER UNUS BILGIOSI WAS SAME	ande, you are not required	to sign th	e Certifi	oation, but you must
prov	de your correct TIN. See the instructions on page 4.	·			
Sig	I signature of A	Date		/ ,)	2020
Hei	e U.S. parson > / / / /			<u> </u>	
Ge	neral Instructions	Definition of a U.S. considered a U.S. per	person. 1 son if Vou	or teo: ane:	eral tax purposes, you are
Sec	tion references are to the internal Revenue Code unless	 An individual who is 	a U.S. c	lizen o	r U.S. rèsident allen,
othe	nvise noted.	A mentalizable contri	amilian e	mnani	or association created of
Pu	rpose of Form	organized in the Unite	ad States	or unde	r the laws of the United.
	amon who is required to the an information return with the	e An estate (other the	a Totolo	n'astat	e), or
100	multiple Astain white contact taxbaver identification number (189)	A domestic trust (a	s defined	In Redi	lations section
+0.1	eport, for example, income paid to you, real estate sactions, mortgage interest you paid, acquisition or	301.7701-7).			
aba	ndonment of secured property, cancellation of deals of	special rules for par	therships	, Parto	erships that conduct a
con	ributions you made to an IHA.	Trada Archueinees in 1	ne United	bibles	are generally required to artners' share of income
ļ.	ise Form W-9 only if you are a U.S. person (including a dent allen), to provide your correct TIN to the person	tions ough huidhodd '	Fillmor In	OBITHI	
res	uesting it (the requester) and, when applicable, to:	had not been received	ri: a parin	ersnio i	8-Lechilded for hispaning and
. 1	Certify that the TIN you are giving is correct (or you are	a partner is a foreign Tharefore, if you are i	alis nei	son m	
Wal	ting for a number to be issued;	lifesing of the section	nn a trade	or dus	U682 IU IUS OUTIER OTATES
2	. Certify that you are not subject to backup withholding, or	ninulità Enim W-Q to	the hann	ersnici	O Garaonan Anni Prov
<u></u> .(Claim exemption from backup withholding if you are a U.S.	status and avoid with Income.	មាល់កំរាង ខ	n.your	maano m. ma hunaria mina mina.
1110	mpt payee. If applicable, you are also certifying that as a person, your allocable share of any partnership income from	The person who di	ves Form	W-Ø to	the partnership for
	Contraction of historias is not subject to the with louding tax of	numprice of establish	inn lia U:	S. statu	is and avoiding winniolomy
for	eign partners' share of effectively connected income.	on its allocable share		Joine 10	Thited States is in the

The person who gives Form W.9 to the partnership for purposes of establishing its U.S. status and avoiding withholding on its allocable share of net income from the partnership conducting a trade or business in the United States is in the following cases:

The U.S. owner of a disregarded entity and not the entity,

Note, if a requester gives you a form other than Form W-9 to request your. Thy you must use the requester's form if it is substantially similar to this Form W-9.

POLITICAL CONTRIBUTION DISCLOSURE STATEMENT

- 1. Application Type Subject to Disclosure. Any applicant to the Chester Borough Land Use Board, including a Use (d) Variance (N.J.S.A. 40:55D-70(d)) or Bulk (c) Variance (N.J.S.A. 40:55D-70(c)) in conjunction with a major subdivision plan or a major site plan.
- 2. Individuals & Entities Subject to Disclosure Requirements. Any individual or entity listed below that is party to an application for a request for approval of any application type listed in the above paragraph pursuant to the following stock or ownership standard:
 - a. All owners or Developers; and
 - b. All associates of said Developers who would be subject to disclosure pursuant to N.J.S.A. 40:55D-48.1 or 40:55D-48.2.
 - c All persons or entities holding an option or contract to purchase or other enforceable proprietary interest in such land or project.

Listed below are the date, amount, and the recipient of any and all Contributions made to or on behalf of any Chester Borough candidate, candidate committee, joint candidate committee, or political action committee or political party committee of, or pertaining to, made up to one year prior to filing the application subject to disclosure and/or during the pendency of the application process, and required to be reported pursuant to N.J.S.A. 19:44A-16(f): 11

APPLICANT: Chistophy Have ZOWN	NER: <u>Witzen</u> Name of 1 My Deck	ndividual
] DEVELOPER:	Name of	Business
POLITICAL CONTRIBUTION RECIPIENT	DATE	AMOUNT
None		
		· · · · · · · · · · · · · · · · · · ·
		· · · · · · · · · · · · · · · · · · ·

Attach a separate sheet if necessary. Do not write 'not applicable', state 'none' instead.

By signing below, I understand and certify to the above and am aware that if I have misrepresented in whole or in part of this certification, I and/or the business entity, will be liable for any penalty permitted under the law.

SCHATURE (applicant, owner, or developer)

HAVEIS

PROPERTY LIST REQUEST

	hundred (2001) feet of the following subject property:
I am requesting a list of property owners within two	hundred (200') feet of the following subject property:
ADDRESS: // Ceder mee lone	
OWNER: Chistopher Harris	
BLOCK(S):	LOT(S):
DATE: 4/1/2020	APPLICATION No.:
REQUESTOR'S NAME:	
ADDRESS: 1/ Cedy pres Lone	
EMAIL: Charris 726 @ gmalcon	PHONE NUMBER: 73-8-79-5902
	DATE:4/1/2020
-	

A fee of \$10.00 or \$.25/name is required, whichever is greater. Checks or money orders made payable to 'The Borough of Chester' can be submitted to the Department.

FEE RECEIPT No.: _____

LAND DEVELOPMENT AND PROCEDURES

163 Attachment 2

Schedule 1 – Part 2 Impervious Coverage Table [Added 8-16-2005 by Ord. No. 2005-16; amended 10-18-2005 by Ord. No. 2005-23]

	All uses in	n R-LD and R-HD Zones	
Base Lot Area (acres) ¹	Base Lot Area (square feet)	Permitted Base Coverage (square feet)	Permitted Incremental Coverage Factor
0,000	0	0	45.00%
0.125	5,445	2,450	35.00%
0.250	10,890	4,356	30.00%
0.375	16,335	5,990	25.00%
0.500	21,780	7,351	20.00%
0.750	32,670	9,529	17.50%
1,000	43,560	11,435	15.00%
	54,450	13,068	12.50%
1.250	65,340	14,429	10.00%
1.500	76,230	15,518	6.67%
1.750		16,245	3.33%
2.000	87,120	17,695	3,33%
3.000	<u>130,680</u> 217,800	20,596	3.33%

Permitted impervious coverage for a lot is determined from the lot area, using the table and the formula.

Determine the largest base lot area that is smaller than the actual lot area. The permitted impervious coverage is equal to the permitted base coverage plus product of the permitted incremental coverage factor and the amount of the actual lot area that exceeds the previously determined base lot area.

Example: Actual lot area is 24,000 square feet. The largest base lot area that is smaller than 24,000 square feet is 0.500 acres or 21,780 square feet. The excess of actual over base lot area is 24,000 - 21,780, or 2,220 square feet. The permitted impervious coverage is equal to 7,351 (taken from the table) plus (20% * 2,200), which is equal to 7,351 + 440 or 7,791 square feet.

Permitted building coverage is equal to 40.0% of permitted impervious coverage.

¹ For a flag lot, exclude the area of the flag staff from the base lot area and impervious coverage area calculation when this portion of the lot is improved with a driveway and utilized for access to the lot.

Maximum Impervious Coverage/Building Coverage Calculation Worksheet

1. Convert the square footage of a lot to a decimal equivalent of one acre (43,560 square feet). (example 24,000 square feet lot = .55 acres);	Example .55	Lot Size
 2. Identify the largest base lot area smaller than the actual lot area and record the permitted base coverage; (example = .500 acre) 	7,351 square feet	7351
3. Subtract base lot area from total lot area (square feet) and multiply the difference by permitted incremental coverage factor and record the product; (example $24,000 - 21,780 = 2,220 \times 20\% = 444$)	444	139
4. Add Lines 2 and 3. The sum is the maximum permitted impervious coverage for the lot.	7,795 square feet	7490
 Maximum building coverage. Multiply maximum permitted impervious coverage to determine maximum building coverage; (example 7,795 x 40%) 	3,118 square feet	2996

September 1, 2020

To the Chester Borough Land Use Board:

Enclosed within is an application for a variance request related to the property I own at 11 Cedar Tree Lane. I am requesting a variance for the rear setback requirements as per the following:

- Extension of pre-existing deck: We are looking to extend the end of our attached rear deck by 5 feet to the rear property line. We are looking for a variance for the rear setback requirement (75 feet for principal building structures) such that the construction of the deck (with a rear setback of approximately 45.6 feet) will be permissible.
- Construction of ground level patio: We are looking to construct a 225 square foot ground level
 patio adjacent to the deck. We are looking for a variance for the rear setback requirement (50
 feet for accessory building structures) such that the construction of the patio (with a rear
 setback of approximately 30 feet) will be permissible.

All applicable information and drawings are included within this packet. Please do not hesitate to contact me with any questions. I can be reached at 973-879-5902.

Sincerely,

Chris Harris Owner, 11 Cedar Tree Lane, Chester

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN PROPOSED SIGNS AT THE STREETS OF CHESTER SHOPPING BLOCK 132, LOT 3 **ZONE: B-3 (REGIONAL COMMERCIAL BUSINESS)** PROPERTY ADDRESS: 160 ROUTE 206 BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY

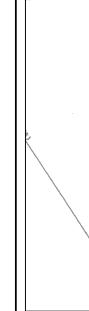
	INDEX OF SHEETS
SHEET	DESCRIPTION
1	COVER SHEET / LOCATION MAP / KEY MAP
2	OVERALL MAP / ZONING TABLE
3	LAYOUT AND LIGHTING PLAN
4	LANDSCAPE PLAN
5	CONSTRUCTION DETAILS

APPLICANT/OWNER:

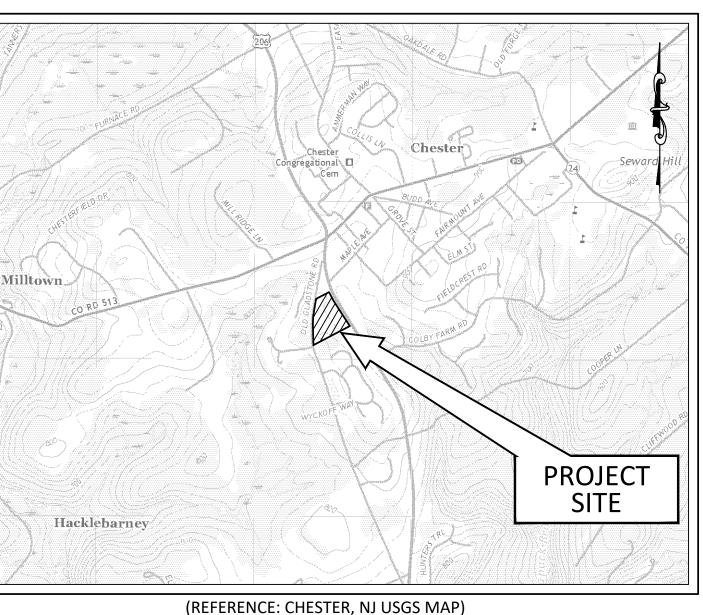
CPP STREETS OF CHESTER, LLC C/O THE WOODMONT CO. 2100 W. 7TH STREET FORT WORTH, TEXAS, 76107 PHONE: (817) 732-4000

GENERAL NOTES

- 1. EXISTING CONDITION INFORMATION SHOWN HEREIN IS TAKEN FROM THE FOLLOWING PLANS
- 1.1. PRELIMINARY AND FINAL MAJOR SITE PLAN FOR THE STREETS OF CHESTER SHOPPING CENTER. PROPOSED DRIVE THRU, BLOCK 132, LOT 3, BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY PREPARED BY MASER CONSULTING, P.A. DATED 02/24/17 REVISED THROUGH 05/18/18.
- 1.2. ALTA/ACSM LAND TITLE SURVEY, 112 HIGHWAY 206, LOT 3, BLOCK 132, BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY PREPARED BY STIRES
- ASSOCIATES, P.A. DATED 07/21/10 REVISED THROUGH 10/05/15.
- 1.3. SUPPLEMENTAL TOPOGRAPHIC INFORMATION FOR ENTRANCE DRIVE OBTAINED BY ROTH ENGINEERING, LLC ON JANUARY 29, 2020. TOPOGRAPHI INFORMATION SHOWN HEREON IS RELATIVE TO NAVD 1988 ADJUSTMENT TO MATCH MASER PLANS.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE SIGN LOCATION. RELATED SITE WORK AND THE REQUESTED VARIANCES REQUIRED FOR SITE PLAN APPROVAL. REFE "PROPOSED PEDESTAL SIGN FOR STREETS OF CHESTER" PREPARED BY BYRNE DESIGN ASSOCIATES FOR ADDITIONAL INFORMATION ON THE PROPOSED SIGNS. SHOP DRAWINGS/CONSTRUCTION PLANS OF THE SIGNS MUST BE PROCURED BY THE CONTRACTOR (OR OWNER) AND PROVIDED TO ARCHITECT AND DESIGN ENGINEER FOR REVIEW/APPROVAL PRIOR TO CONSTRUCTION TO VERIEV PLAN CONFORMANC
- INS FOR ALL WALLS MUST BE PROCURED BY THE CONTRACTOR (OR OWNER) AND PREPARED BY AN ENGINEER LICENSED IN NEW JERSEY. TH WALL DESIGN MUST ABIDE TO THE APPROVED ATTRIBUTES RELEVANT TO TYPE OF WALL, COLOR AND TEXTURE, A BUILDING PERMIT IS REQUIRED FOR ANY WA
- HE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN REGARDING UNDERGROUND UTILITIES IS NOT O TO ANY WORK BEING PERFORME
- a. THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF THE EXISTING UTILITY TO WHICH CONNECTION IS BEING MADE BEFORE LAYING ANY PIPE CONDUIT, ETC. DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER.
- b. ANY TEMPORARY INTERRUPTION OF SERVICE TO THE SITE AND/OR ADJACENT PROPERTIES SHALL BE PRE-APPROVED IN WRITING (EMAIL) BY THE RESPECTIVE UTILITY.
- TELEPHONE, CABLE TELEVISION AND ALL OTHER UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND AT LOCATIONS DETERMINED BY EACH ELECTRIC. RESPECTIVE UTILITY ENTITY, SUBJECT TO ANY REQUIRED MUNICIPAL APPROVAL, REGARDLESS OF WHETHER OR NOT THE UTILITIES ARE SHOWN ON THE PLANS THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF ALL UTILITY MAINS AND SERVICES WITH EACH UTILITY ENTITY AND PROVIDE WHATEVER CONSTRUCTION SUPPORT IS REQUIRED FOR ACHIEVING UTILITY SERVICE. THE CONTRACTOR IS ADVISED TO CONTACT EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION TO IDENTIFY AND COORDINATE ANY SCHEDULING REQUIREMENTS.
- d. SHOULD IT BE REQUIRED TO EXCAVATE ONE OR MORE TRENCHES IN EXISTING ROADWAYS, BACKFILLING AND PAVEMENT REPLACEMENT/REPAIR SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MUNICIPALITY OR COUNTY, AS APPLICABLE. VERIFICATION OF BACKFILL REQUIREMENTS SHALL BE MADE PRIOR TO BID.
- 5. THE OWNER SHALL PROVIDE A COPY OF ALL PERMITS AND APPROVALS ISSUED FOR THE PROJECT TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND COMPLYING WITH THE TERMS AND CONDITIONS OF ALL PERMITS, APPROVALS AND AUTHORIZATIONS ISSUED BY THE VARIOUS REGULATORY AUTHORITIES FOR THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONFIRMING WITH THE ENGINEER THAT THE PERMITS AND APPROVALS PROVIDED BY THE OWNER IS COMPLETE. RESPONSIBILITY FOR ANY ADDITIONAL PERMITS REQUIRED AS CONSTRUCTION PROGRESSES, SUCH AS BUILDING PERMITS (INCLUDING BUILDING PERMITS FOR RETAINING WALLS) AND ROAD OPENING PERMITS SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND OWNER.
- 6. PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION ACTIVITY, THE CONTRACTOR SHALL COMPLETE THE FOLLOWING:
- VERIFY THE PLANS CONTAIN THE RAISED SEAL OF THE ENGINEER AND DISPLAY THE LATEST REVISION AS "ISSUED FOR CONSTRUCTION." THE USE OF ANY OTHER PLANS IS AT THE CONTRACTOR'S RISK.
- VERIFY THE INFORMATION SHOWN ON THESE PLANS IS CONSISTENT WITH THE INFORMATION SHOWN ON ALL OTHER PLANS (ARCHITECTURAL, LANDSCAPING, ETC.) BEING USED FOR CONSTRUCTION OF THE PROJECT. ALSO, VERIFY THE PLANS ARE CONSISTENT WITH ALL CONDITIONS AND REQUIREMENTS SET FORTH IN THE PERMITS. REPORT ANY DISCREPANCIES/INCONSISTENCIES TO THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
- DETERMINE ALL APPLICABLE SPECIFICATIONS, AS WELL AS ALL REQUIREMENTS FOR SHOP DRAWINGS, INSPECTIONS AND TESTING APPLICABLE TO PROJECT BY CONTACTING THE LOCAL BUILDING OFFICIAL, MUNICIPAL ENGINEER AND EACH AFFECTED UTILITY COMPANY (OR AGENCY). IN THE EVENT OF A CONFLICT BETWEEN ANY SPECIFICATIONS AND THE INFORMATION SHOWN ON THESE PLANS, THE DESIGN ENGINEER AND THE OWNER SHALL BE NOTIFIED IN ORDER TO RESOLVE THE CONFLICT PRIOR TO ANY CONSTRUCTION.
- CONTACT THE LOCAL POLICE DEPARTMENT RELEVANT TO ANY WORK TO BE PERFORMED IN OR NEAR PUBLIC STREETS, AS WELL AS INGRESS AND EGRESS REQUIREMENTS DURING CONSTRUCTION. TRAFFIC CONTROL REQUIREMENTS SHALL BE ESTABLISHED BETWEEN THE CONTRACTOR AND POLICE DEPARTMENT AT THIS TIME.
- . RELEVANT DOCUMENTATION PERTAINING TO ANY PRODUCT PROPOSED BY THE CONTRACTOR ON THE BASIS OF AN "APPROVED EQUAL" SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER AND THE DESIGN ENGINEER AT LEAST TWO WEEKS IN ADVANCE OF ORDERING PRODUCT. THE PRODUCT MUST BE APPROVED FOR INCORPORATION INTO THE PROJECT BY BOTH THE MUNICIPAL ENGINEER AND THE DESIGN ENGINEER.
- 8. ALL CONFIRMATIONS/VERIFICATIONS BETWEEN THE CONTRACTOR, OWNER AND/OR ENGINEER SHALL BE VIA EMAIL OR OTHER WRITTEN FORM(S) OF
- COMMUNICATION.
- 9. CONTRACTOR TO CALL THE NEW JERSEY ONE CALL SYSTEM (800-272-1000) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY SITE DISTURBANCE. 10. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE DESIGN ENGINEER WITH A LIST OF ALL SHOP DRAWINGS, INSPECTIONS, TESTING, CERTIFICATIONS, AS-BUILT PLANS AND SIMILAR POST-CONSTRUCTION APPROVAL REQUIREMENTS PERTAINING TO THE PROJECT. THE LIST SHALL ALSO IDENTIFY THE SPECIFIC INDIVIDUAL RESPONSIBLE FOR PERFORMING EACH TEST AND/OR PROVIDING EACH CERTIFICATION AND/OR AS-BUILT MAP. IN PARTICULAR, SHOULD NJDEP PERMITS APPLY TO ANY UTILITY CONSTRUCTION AND SHOULD THE PERMIT REQUIRE A CERTIFICATION OF THE WORK UPON COMPLETION, THE CONTRACTOR SHALL DETERMINE THE INDIVIDUAL RESPONSIBLE FOR PROVIDING THE CERTIFICATION. THE CONTRACTOR SHALL THEN BE RESPONSIBLE FOR COORDINATING WITH EACH INDIVIDUAL IDENTIFIED ON THE LIST AND SCHEDULING HIS WORK TO ASSURE EACH INDIVIDUAL HAS SUFFICIENT OPPORTUNITY TO CONDUCT THE REQUIRED TESTS, OBTAIN REQUIRED MEASUREMENTS AND/OR PERFORM ANY SERVICES OR WORK REQUIRED TO PREPARE THE REQUIRED POST-CONSTRUCTION APPROVAL DOCUMENTS.
- 11.CONTRACTOR TO COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND/OR PUBLIC AGENCIES PROVIDING UTILITY SERVICE, AS APPLICABLE, AND ABIDE BY ALL OF THEIR REQUIREMENTS RELEVANT TO THE PERFORMANCE AND INSPECTION OF ALL WORK AFFECTING THEIR UTILITIES, INCLUDING COMPLYING WITH ANY AND ALL TESTING REQUIREMENTS. IN THE EVENT REQUIREMENTS OR SPECIFICATIONS OF THE UTILITY COMPANY OR PUBLIC AUTHORITY CONFLICT WITH THE PLANS, THE MUNICIPAL REQUIREMENTS SHALL GOVERN. IN SUCH CASE, THE CONTRACTOR SHALL ADVISE THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH ANY WORK.
- 12.PRIOR TO ANY CONSTRUCTION, THE HORIZONTAL LIMITS OF THE WORK (LIMITS OF DISTURBANCE LOD) SHALL BE ESTABLISHED AND SILT FENCE IS BE INSTALLED. DISTURBANCE BEYOND THESE PERMITTED LIMITS EXPOSES THE CONTRACTOR TO FINES AND PENALTIES BY REGULATORY AGENCIES.
- 13.CONTRACTOR IS RESPONSIBLE FOR THEIR OWN VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION, SHOULD THERE BE ANY SUSPECTED DISCREPANCIES WITH THE TOPOGRAPHY DEPICTED ON THE PLANS AND ACTUAL PHYSICAL CONDITIONS. ANY CONFIRMED DISCREPANCY IDENTIFIED BY THE CONTRACTOR'S VERIFICATION SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION PRIOR TO ANY SITE DISTURBANCE. ONCE ANY SITE DISTURBANCE OCCURS, THE CONTRACTOR SHALL HAVE NO CLAIM FOR EXTRA WORK BASED UPON SUSPECTED OR CONFIRMED TOPOGRAPHIC DISCREPANCIES.
- 14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SITE SAFETY AND FOR DETERMINING THE MEANS AND METHODS FOR ALL CONSTRUCTION ACTIVITIES. ALL SAFETY PRECAUTIONS MUST BE UNDERTAKEN AND MAINTAINED AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.
- 15.CONTRACTOR TO COMPLY WITH THE TRAFFIC CONTROL PLAN, IF PROVIDED. IF A TRAFFIC CONTROL PLAN IS NOT PROVIDED, THE CONTRACTOR SHALL DETERMINE AND COMPLY WITH ANY AND ALL TRAFFIC CONTROL REQUIREMENTS OF THE LOCAL POLICE DEPARTMENT AND ANY PUBLIC AGENCY HAVING JURISDICTION RELEVANT TO ANY CONSTRUCTION IN OR NEAR PUBLIC STREETS AS WELL AS FOR INGRESS AND EGRESS DURING CONSTRUCTION.
- 16. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL MEASURES AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND SAFETY OF THE PUBLIC. ALL SUCH TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN SATISFACTORY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.



36 17.6 AC.



LOCATION MAP SCALE: 1"= 2.000

ZONE LINE (TYP)

ZONE

38,01

2,860 AC

R-LD

ZONE

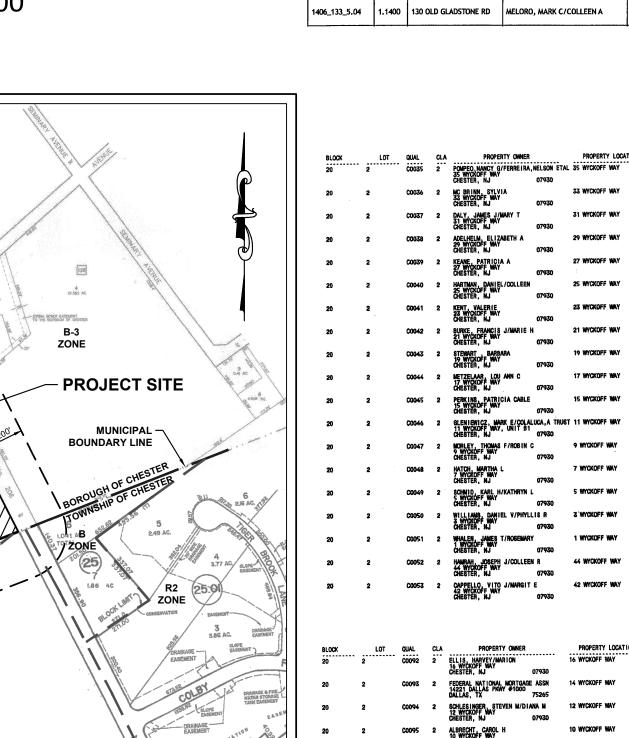
ZONE

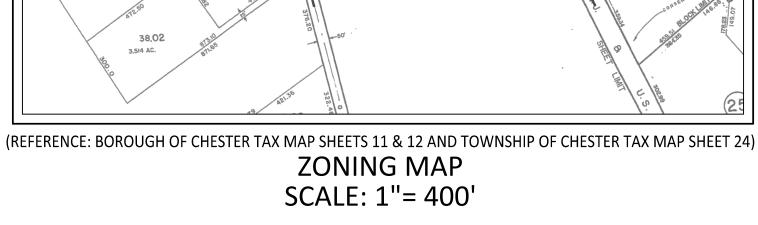
(BOROUGH OF CHESTER)

20 2

20 2

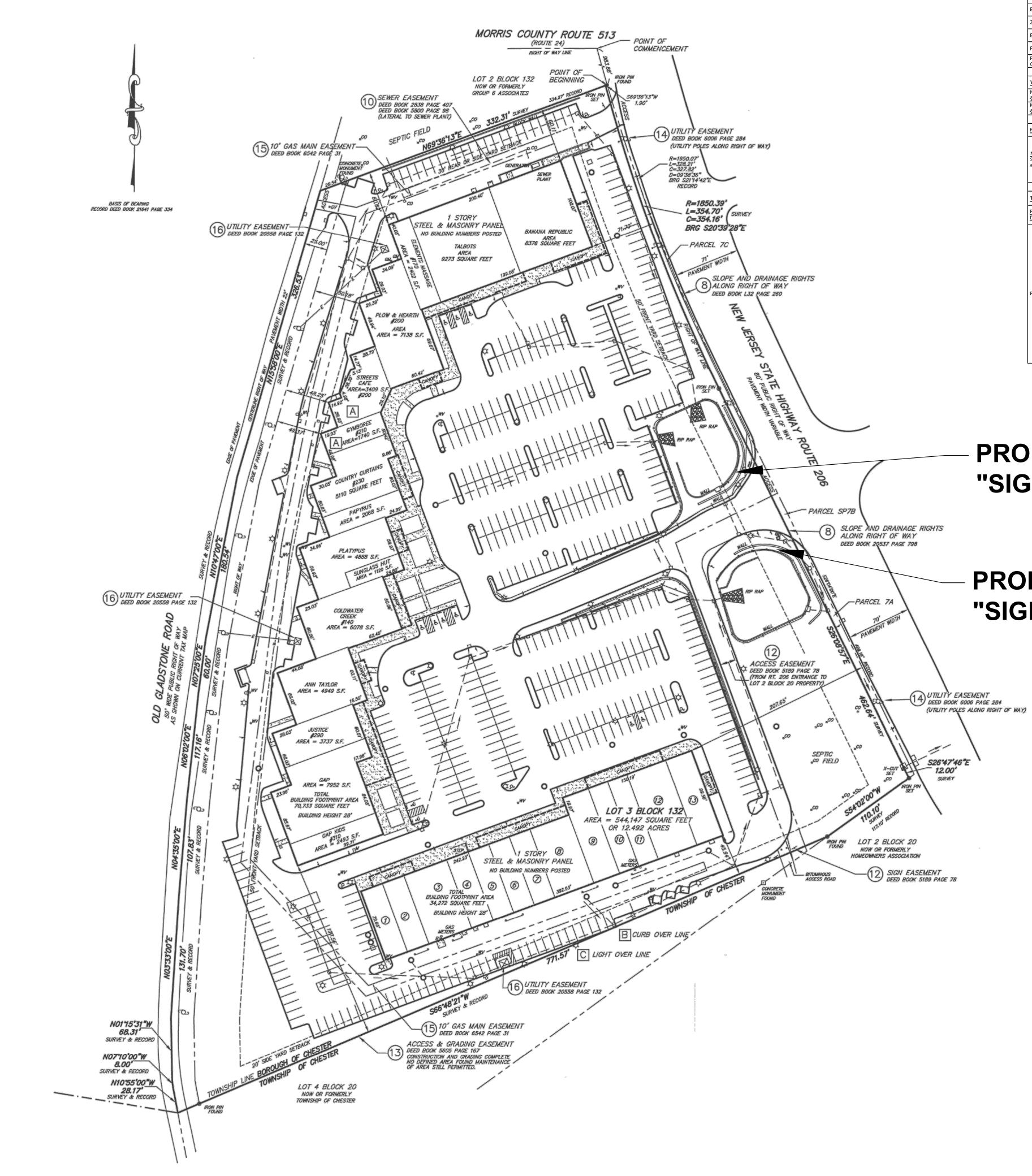
		(BOROUG	H OF CHESTER)		BLOCK 15	LOT 35.01
PARCELS WITH	IN RANG	E OF TARGETED PROPE	RTIES:		15	35.08
PAMS_PIN	Acres	Property Location	Owners Name	Mailing Address		35.00
1406_128_1	0.5200	115 ROUTE 206	ROSLE REALTY LLC	89 WEST VALLEY BROOK CALIFON, NJ 07830	15	37
1406_128_3	1.0300	125 ROUTE 206	SOMERSET TIRE SERVICE, INC	P.O. BOX 5936 BRIDGEWATER NJ 08807	15 20	38.01
1406_128_4	21.5620	141-205 ROUTE 206	DPF CHESTER LLC MARVIN F POER & CO	3520 PIEDMONT RD NE #410 ATLANTA, GA 30305	20	2
1406_132_2	1.4400	112 ROUTE 206	GROUP 6 ASSOC. LITTLE FALLS SHOPRIT	171 BROWERTOWN RD LITTLE FALLS, NJ 07424	20	2
1406_132_3	8.9600	160 ROUTE 206	CPP STREETS OF CHESTER LLC	68 SOUTHFIELD AVE #115 STAMFORD, CT 06902	20	2
1406_133_10	1.0000	150 OLD GLADSTONE RD	HAMANN, JOHN & URSULA	150 OLD GLADSTONE BX 1198 CHESTER NJ 07930	20 20	2
1406_133_11	0.8292	170 OLD GLADSTONE RD	GINSBERG, HAL & PEARCE, JUNE	170 OLD GLADSTONE RD CHESTER, NJ 07930	20	2
1406_133_5.01	1.0110	1 WINDY TOP LN	SZILAGYI, STEPHEN/STRACK, KELLY	1 WINDY TOP LN CHESTER, NJ 07930	20	2
1406_133_5.02	1.0310	3 WINDY TOP LN	HOUTZ, RICHARD PAUL JR & KAREN L	3 WINDY TOP LN CHESTER, NJ 07930	20	2
1406_133_5.03	1.0350	5 WINDY TOP LN	MORGAN, KEVIN M & NICOLE E	5 WINDY TOP LN CHESTER, NJ 07930	20	2
1406_133_5.04	1.1400	130 OLD GLADSTONE RD	MELORO, MARK C/COLLEEN A	130 OLD GLADSTONE RD CHESTER, NJ 07930	20 ·	2
					20	2

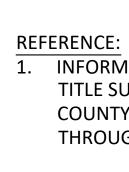




				CHESTER, NJ	07930				
20	2	C0036	2	MC BRINN, SYLVIA 33 WYCKOFF WAY CHESTER, NJ	07930	33 WYCKOFF WAY		20	2
20	2	C0037	2	DALY, JAMES J/MARY T 31 WYCKOFF WAY CHESTER, NJ	07930	31 WYCKOFF WAY		20	2
20	2	C0038	2	ADELHELM, ELIZABETH A 29 WYCKOFF WAY CHESTER, NJ		29 WYCKOFF WAY		20	2
20	2	C0039	2	CHESTER, NJ KEANE, PATRICIA A 27 WYCKOFF WAY CHESTER, NJ	07930	27 WYCKOFF WAY		20	2
20	2	C0040	2	CHESTER, NJ HARTMAN, DANIEL/COLLEEN 25 WYCKOFF WAY CHESTER, NJ	07930	25 WYCKOFF WAY		20	2
20	2	C0041	2	CHESTER, NJ KENT, VALERIE 23 WYCKOFF WAY CHESTER, NJ	07930	23 WYCKOFF WAY		20	2
20	2	C0042	2	CHESTER, NJ BURKE, FRANCIS J/MARIE H 21 WYCKOFF WAY CHESTER, NJ	07930 1	21 WYCKOFF WAY		20	2
20	2	C0043	2	CHESTER, NJ STEWART , BARBARA 19 WYCKOFF WAY CHESTER, NJ		19 WYCKOFF WAY		20	2 .
20	2	C0044	2	CHESTER, NJ METZELAAR, LOU ANN C 17 WYCKOFF WAY CHESTER, NJ	07930	17 WYCKOFF WAY		20	2
20	2	C0045	2	CHESTER, NJ PERKINS, PATRICIA CABLE 15 WYCKOFF WAY CHESTER, NJ	07930	15 WYCKOFF WAY		20	2
20	2	C0046	2	CHESTER, NJ GLENIEWICZ, MARK E/COLAL 11 WYCKOFF WAY, UNIT B1 CHESTER, NJ	07930 LUCA,A TRUE	ST 11 WYCKOFF WAY		20	2
20	2	C0047	2	CHESTER, NJ MORLEY, THOMAS F/ROBIN (9 WYCKOFF WAY CHESTER, NJ	07980 C	9 WYCKOFF WAY		20	2
20	2	C0048	2	CHESTER, NJ HATCH, MARTHA L 7 WYCKOFF WAY CHESTER, NJ		7 WYCKOFF WAY		20	2
20	2	C0049	2	CHESTER, NJ SCHWID, KARL H/KATHRYN I 5 WYCKOFF WAY CHESTER, NJ	07930 L	S WYCKOFF WAY		20	2
20	2	C0050	2	CHESTER, NJ WILLIAMS, DANIEL V/PHYLI 3 WYCKOFF WAY CHESTER, NJ		3 WYCKOFF WAY		20	2
20	2	C0051	2	CHESTER, NJ WHALEN, JAMES T/ROSEMAR) 1 WYCKOFF WAY CHESTER, NJ		1 WYCKOFF WAY		20	2.
20	2	C0052	2	CHESTER, NJ HAMRAH, JOSEPH J/COLLEE 44 WYCROFF WAY CHESTER, NJ		44 WYCKOFF WAY		20	2
20	2	C0053	2	CHESTER, NJ CAPPELLO, VITO J/MARGIT 42 WYCKOFF WAY CHESTER, NJ		42 WYCKOFF WAY		20	2
BLOCK 20	L0T 2	QUAL COO92	CLA 2	PROPERTY OWNER ELLIS, HARVEY/MARION 16 WYCKOFF WAY		PROPERTY LOCATION	Add'l Lots	BLOCK 20	L0T 2
		*****		ELLIS, HARVEY/MARION 16 WYCKOFF WAY CHESTER, NJ FEDERAL NATIONAL MORTGAGE 14221 DALLAS PKWY #1000	07930 : ASSN		Add'l Lots	********	
20	2	C0092	2	ELLIS, HARVEY/MARION 16 WYCKOFF WAY CHESTER, NJ FEDERAL NATIONAL NORTGAGE 14221 DALLAS PKWY #1000 DALLAS, TX SCHLESINGER, STEVEN M/DIA 12 WYCKOFF WAY	: ASSN 75265 WA M	16 WYCKOFF WAY	Add'i Lots	20	2
20 20	2	C0092 C0093	22	ELLIS, HARVEY/MARION 16 WCKOFF WAY CRESTER, NJ FEDERAL NATIONAL MORTGAGE 14221 DALLAS PKWW #1000 DALLAS, TK SCHLESINGER, STEVEN M/DIA 12 WCKOFF WAY CRESTER, NJ	: ASSN 75265 WA M 07930	16 WYCKOFF WAY 14 WYCKOFF WAY	Add'l Lots	20 20	2
20 20 20 20	2 2 2	C0092 C0093 C0094	2 2 2 2	ELLIS, HARVEY/MARION 16 WCKOFF WAY CHESTER, NO MAL MORTGAGE 14221 DALLAS PKWY #1000 DALLAS, TX SCHLESINGER, STEVEN M/DIA SCHLESINGER, STEVEN M/DIA CHESTER, NJ ALBRECHT, CAROL H 10 WCKOFF WAY CHESTER, NJ	: ASSN 75265 INA M 07930 07930	16 WYCKOFF WAY 14 WYCKOFF WAY 12 WYCKOFF WAY	Add'i Lots	20 20 20	2
20 20 20 20 20	2 2 2 2	C0092 C0093 C0094 C0095	2 2 2 2 2	ELLIS, HARVEY/MARION 16 WCKOFF WAY CHESTER, NO AL MORTGAGE 14221 DALLAS PKW #1000 DALLAS, TX SCHLESINGER, STEVEN M/DIA 12 WCKOFF WAY CHESTER, NJ ACQUAYLYA, VINCENT/CAROL SCHESTER, NJ	ASSN 75265 NA M 07930 07930	16 WYCKOFF WAY 14 WYCKOFF WAY 12 WYCKOFF WAY 10 WYCKOFF WAY	Add'l Lots	20 20 20 20 20	2 2 2 2
20 20 20 20 20 20	2 2 2 2	C0092 C0093 C0094 C0095 C0096	2 2 2 2 2	ELLIS, HARVEY/MARION 16 WCKOFF WAY CHESTER, NJ FEDERAL NATIONAL MORTGAGE 14221 DALLAS PKWY #1000 DALLAS, TX SCHLESINGER, STEVEN M/DIA 12 WCKOFF WAY CHESTER, NJ ALBRECHT, CAROL H 10 WCKOFF WAY CHESTER, NJ ACQUAVIVA, VINCENT/CAROL 8 WYKKOFF WAY GHESTER, NJ DAALEMAN, HENRY J/ELIZABE T YOUNG CT GHESTER, NJ	ASSN 75265 NA M 07930 07930 07930 07930 ETH A 07930	16 WYCKOFF WAY 14 WYCKOFF WAY 12 WYCKOFF WAY 10 WYCKOFF WAY 8 WYCKOFF WAY	Add'l Lots	20 20 20 20 20	2 2 2 2 2 2
20 20 20 20 20 20 20	2 2 2 2 2 2 2 2 2	C0092 C0093 C0094 C0095 C0096 C0097	2 2 2 2 2 2 2 2 2 2 2 2	ELLIS, HARVEY/MARION 16 WCKOFF WAY CHESTER, NJ FEDERAL NATIONAL, MORTGAGE 14221 DALLAS PKW #1000 DALLAS, TX SCHLESINGER, STEVEN M/DIA 122 WCKOFF WAY CHESTER, NJ ACCULAVIVA, VINCENT/CAROL 6 WFXCOFF WAY CHESTER, NJ DAALEMAN, HENRY J/ELIZABE CHESTER, NJ SWARTS, HOPE 3 YOUNG T, NJ LANZA, RAVIEND V/MARIE R	ASSN 75265 NA M 07930 07930 07930 07930 TH A 07930	16 WYCKOFF WAY 14 WYCKOFF WAY 12 WYCKOFF WAY 10 WYCKOFF WAY 8 WYCKOFF WAY 1 YOUNG CT	Add'l Lots	20 20 20 20 20 20 20	2 2 2 2 2 2 2 2
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2 C0008 2 DANAUT, CHARLES ROBERT/JOSETTE BEDRIMM, NJ 07930	15 DICKERSON CT	20 2 C0027	2 BRYANT, CHARLES EUGENE/MARIE T 1 DRAWE LH CHESTER, NJ 07930 2 Ditchey, Frank/Linnea 3 Drawe LN Chester, NJ 07930	3 DRAKE LN		
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2 C0067 2 MILLER, DIANE 8 T 30 BROWN CT Chester, NJ 07930	30 BROWN CT 28 BROWN CT	20 2 C0086 20 2 C0087	28 WYCKOFF WAY Chester, NJ 07930	28 WYCKOFF WAY 26 WYCKOFF WAY		
2 C0068 2 JACOBSON, HOWARD M/SHERYL 28 BROWN CT CHESTER, NJ 07930 2 C0069 2 SMEFSKY, CAROLYN K/CHARLES B 26 BROWN CT CHESTER, NJ 07930	26 BROWN CT	20 2 C0088		24 WYCKOFF WAY	DR R SI	MAP ³
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2 C0114 2 BEEDE, JB/MB UNDIV INT 20 YOUNG CT CHESTER, NJ 07930 2 C0115 2 ROMA, GEORGE E/SANDRA R	20 YOUNG CT	al Estate Services Park Place	208 South Akard St Dallas, TX 75202 Highlands Council	78 South Main Street Akron, OH 44309-1890 Sprint Corporate Headquarters	ΣĻ	Г
2 C0115 2 ROMA, GEORGE Z/SANDRA R 19 YOUNG GT CHESTER, NJ 07930 2 C0116 2 SPERA, PETER E/GLORIA M 16 YOUNG GT CHESTER, NJ 07930	16 YOUNG CT	wark, NJ 07101	100 North Rd Chester, NJ 07930 Comcast Corporate Headquai 1 Comcast Center	6200 Sprint Parkway Overland Park, Kansas 66251 ters Chester Township Clerk 1 Parker Road	REL	SHEE
2 C0117 2 SALICETI, ATTHUR/LOUISE 14 YOMG CT CHESTER, NJ 07930 2 C0118 2 PONTO, MARK/JOANN	14 YOUNG CT	AMERICAN WATER Box 5627 Prry Hill, NJ 08034	Philadelphia, PA 19103 Vertzon NJ Inc. NJ Bell Headquarters	Parlies Road Chester, NJ 07930 PSE & G Manager-Corporate Properties		S S
12 YOUNG CT CHESTER, NJ 07930 2 CO119 2 KANE, JANES M/GENEVIEVE C 10 YOUNG CT CHESTER, NJ 07930	10 YOUNG CT		540 Broad Street Newark, NJ 07102 GPU Energy	80 Park Plaza, T8B Newark, NJ 07101 State of NJ DOT	NDEI	/EF
2 C0120 2 HODK INSON, JOAN 8 YOUNG CT CHESTER, NJ 07930 2 C0121 2 MELILLO, JOEL/LYNNE 6 WYCXCRF WAY CHESTER, NJ 07930	8 YOUNG CT 6 wyckoff way		First Energy Corp. 76 South Main Street Akron, Ohio 44308	200 Stierli Court Roxbury, NJ 07856 Morris County Planning Board 30 Schuvler Place	ЧЕ	COVER SHEET
2 C0122 48 NJ AMERICAN WATER CO INC Po box 2738-Aith Tax Dept Camden, NJ 08101	215 OLD CHESTER GLADSTONE			30 Schuyfer Piace Morristown, NJ 07980		0
2 C0123 4B NJ AMERICAN WATER CO INC PO BOX 2736-ATTN TAX DEPT CADERN, NJ 4 15C TOMMSHIP OF CHESTER 1 PARKER RD CHESTER, NJ 07930	100 BRONN CT 145 OLD CHESTER GLADSTONE				DATE: 05, PROJECT	/04/20 NO.: 200103
1 4A FLEET NAT'L BANK NC1-001-03-81 101 N TRYON ST CHARLOTTE, NC 28255	501 ROUTE 206	Tł	HESE PLANS ARF	NOT TO BE USED	SHEET NO	
2 1 5152040HESTERNJ, LLC 5314 BOCK MARINA CIR N BOCK RATON, FL 33487	515 ROUTE 206		FOR BID OR CO		1	
		GI	SEE SHEET 1 OF ENERAL NOTES /	THIS SET FOR AND REFERENCES	_	OF D





PROPOSED MONUMENT SIGN "SIGN A" (SEE SHEET 3)

PROPOSED MONUMENT SIGN "SIGN B" (SEE SHEET 3)

ZONING TABLE		
BLOCK 132, LOT 3		
BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY		
ZONE: B-3 (REGIONAL COMMERCIAL BUSINESS DISTRICT) A	ND WITHIN THE HISTORIC PRESERVATION DISTRICT OVERLAY	
EXISTING USE: REGIONAL SHOPPING CENTER		
PROPOSED USE: NO CHANGE		
PROPOSED IMPROVEMENTS: TWO (2) FREESTANDING SIGN CHANGES PROPOSED TO OTHER ZONING ITEMS.	IS ALONG THE PROJECT'S FRONTAGE LOCATED ON THE NORTH AND SOUTH SIDE OF THE ENTRANCE DRIVE INTO THE PROJECT SITE.	THE ZONING REVIEW BELOW IS SPECIFIC TO THE PROPOSED SIGNS AND THERE ARE NO
VARIANCES REQUESTED		
\$163-72A(2) AND \$163-72D(2) Materials and Design	Two (2) freestanding signs are proposed in the B-3 Business Zone where signs are not permitted as an accessory use.	
§163-93D(1)	Signs located in the Historic District shall be made of natural hardwood, metal or high density urethane (HDU) where brick is prop	osed. Sign received Historic Preservation Committee approval in November of 2019.
REQUIREMENTS FOR SIGNS LOCATED IN HISTORIC DISTRICT	PERMITTED	PROPOSED
	 (1) Signs shall be made of natural hardwood, metal or high density urethane (HDU). Types of acceptable wood would be oak, maple or ash. Metal signs may be iron, copper, bronze, steel or stainless steel. 	(1) Proposed sign made of brick (VARIANCE)
Materials and Designs Signs located in Historic District of the Borough of Chester must also comply with the following:	(2) Signs shall have beveled edges.	(2) Proposed sign has beveled edges.
	(3) Letter and characters shall be recessed, raised and/or painted. No flat plastic or vinyl lettering is permitted	(3) Letter and characters to be recessed, raised and/or painted.
THE BELOW ZONING CRITERIA IS SHOWN FOR COMPARISO	ON PURPOSES ONLY AND IS NOT APPLICABLE FOR ZONING REVIEW/VARIANCE RELIEF	
REQUIREMENTS FOR SIGNS LOCATED IN NONRESIDENTIAL DISTRICTS	PERMITTED	PROPOSED
	(a) The sign must be located in front of the building to which the advertising applies	(a) The sign is located in front of the building
	(b) Each building may have only one sign	(b) Two signs are proposed and two buildings are existing
	(c) The sign must be located at least 10 feet from the front yard property line and road right-of-way	(c) The signs are located 11 feet from the front yard property line and road right-of-way
	(d) No sign shall be permitted on a sidewalk or within three feet of a sidewalk	(d) Sign is not located on a sidewalk and is setback greater than three feet from the sidewalk
Descriptions and fas Francisco Cione	(e) The sign, its braces, supports, lighting and other parts may not exceed five feet in height	(e) The sign has an overall height of 9 feet (NOT COMPLIANT)
Requirements for Freestanding Signs	(f) The sign may be illuminated but only by way of lights located outside the sign	(f) Recessed lights and ground mounted light fixtures are proposed to illuminated the signs (NOT COMPLIANT)
	(g) The total surface area of either side of the sign may not exceed 15 square feet	(g) The total area of the signs are 174.8 square feet which is 87.4 square feet per sign including a display area for tenants of 63 square feet and a display area for the site designation of 24.4 square feet per sign (NOT COMPLIANT) (Refer to Architectural Plans for Sign Details)
	(h) No part of the sign shall be permitted to protrude more than one foot from either side of the surface on the sign	(h) No part of the sign is proposed to protrude more than one foot from either side of the surface on the sign

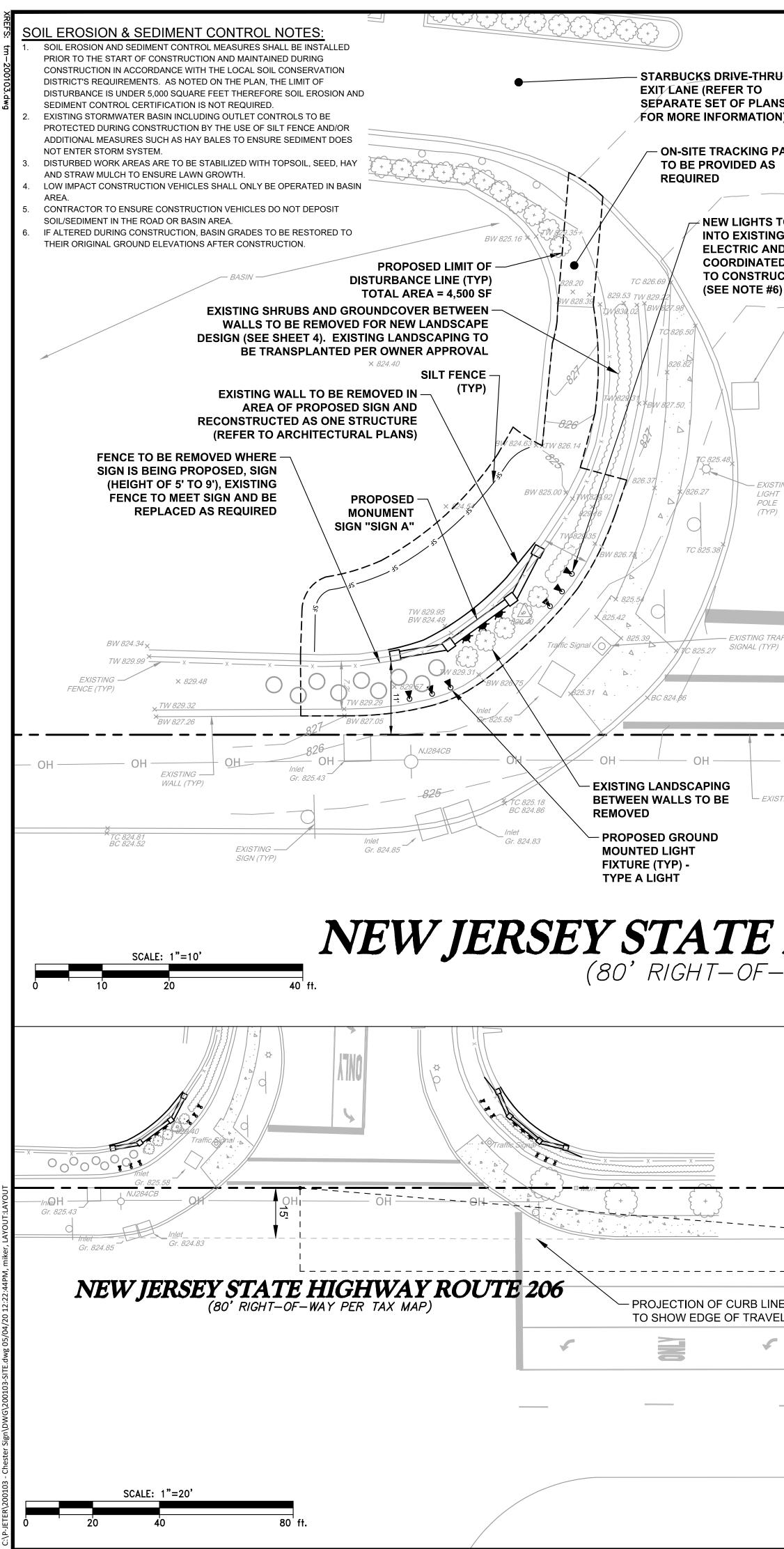
INFORMATION SHOWN ON THIS SHEET IS TAKEN FROM PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, 112 HIGHWAY 206, LOT 3, BLOCK 132, BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY" PREPARED BY STIRES ASSOCIATES, P.A. DATED 07/21/10 REVISED THROUGH 10/05/15.

	ç	SCALE:	1"=60'	
6	0	12	20	240 ft.

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

SEE SHEET 1 OF THIS SET FOR
GENERAL NOTES AND REFERENCES

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLANS FOR PROPOSED SIGNS AT THE STREETS OF CHESTER SHOPPING CENTER PROPOSED SIGNS AT THE STREETS OF CHESTER SHOPPING CENTER PROPOSED SIGNS AT THE STREETS OF CHESTER SHOPPING CENTER OVERALL MAP / ZONING TABLE OVERALL MAP / ZONING TABLE NOTER FILE OF AUTHORIZATION NO. 24623309800 BLOCK 132, LOT 3 BLOCK 132, ROT 3 BLOCK 132	Mary and Final Major Site Plans For He Streets of Chester Shopping Center Map / Zoning Table Roth Englished Englished South Run, Long Valley, NJ 07833 MAP / Zoning Table BLOCK 132, LOT 3 CHESTER, MORRIS COUNTY, NEW JERSH NI CERTIFICATE OF AUTHORIZATION NO. 24GA28309800 ROTH ENGINEERING, LLC SOUTH RUN, LONG VALLEY, NJ 07853
	AMENDED PRELIMIN PROPOSED SIGNS AT T DATE: 05/04/20 PROJECT NO.: 200103
	PROJECT NO.: 200103



RU 828 NS DN) PAD S TO TIE NS DN S REQUIRED S S S S S S S S S S S S S	BW 826.87 BW 826.87 827 × 826.91 BW 825.42 TW 825.42 BW 825.03	 NOTES & REFERENCES: INFORMATION SHOWN ON THIS SHEET IS TAKEN FROM PLAN ENTITLED INFORMATION SHOWN ON THIS SHEET IS TAKEN FROM PLAN ENTITLED "PRELIMINARY AND FINAL MAJOR SITE PLAN FOR THE STREETS OF CHESTER SHOPPING CENTER, PROPOSED DRIVE THRU, BLOCK 132, LOT 3, BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY" PREPARED BY MASER CONSULTING, P.A. DATED 02/24/17 REVISED THROUGH 05/18/18. SUPPLEMENTAL TOPOGRAPHIC INFORMATION FOR NORTHERN SIDE OF ENTRANCE DRIVE OBTAINED BY ROTH ENGINEERING, LLC ON JANUARY 29, 2020. TOPOGRAPHIC INFORMATION SHOWN HEREON IS RELATIVE TO NAVD 1988 ADJUSTMENT. REFER TO PLANS ENTITLED "PROPOSED PEDESTAL SIGN FOR STREETS OF CHESTER" PREPARED BY BYRNE DESIGN ASSOCIATES FOR ADDITIONAL INFORMATION ON THE PROPOSED SIGNS AND RETAINING WALLS. SHOP DRAWINGS/CONSTRUCTION PLANS OF THE PROPOSED WALLS AND SIGNS MUST BE PROCURED BY THE 	
NG ON-SITE ND TO BE ED PRIOR UCTION (6) BW 829.78 (11) Inlet Gr. 825.37 BC 826.11 BW 829.78	STING WALL TO BE REMOVED IN EA OF PROPOSED SIGN AND CONSTRUCTED AS ONE STRUCTURE FER TO ARCHITECTURAL PLANS) X 824.96 FENCE TO BE REMOVED WHERE SIGN IS BEING	 CONTRACTOR (OR OWNER) AND PROVIDED TO THE ARCHITECT AND DESIGN ENGINEER FOR REVIEW/APPROVAL PRIOR TO CONSTRUCTION TO VERIFY PLAN CONFORMANCE. STRUCTURAL DESIGNS FOR ALL WALLS MUST BE PROCURED BY THE CONTRACTOR (OR OWNER) AND PREPARED BY AN ENGINEER LICENSED IN NEW JERSEY. THE WALL DESIGN MUST ABIDE TO THE APPROVED ATTRIBUTES RELEVANT TO TYPE OF WALL, COLOR AND TEXTURE. A BUILDING PERMIT IS REQUIRED FOR ANY WALL EXCEEDING FOUR FEET IN HEIGHT AND THE CONTRACTOR (OR OWNER) IS RESPONSIBLE FOR SECURING SAID PERMIT(S). POST-CONSTRUCTION CERTIFICATION AS TO THE CONSTRUCTION OF A RETAINING WALL OR OTHER STRUCTURAL COMPONENTS TO BE PROVIDED BY A PROFESSIONAL STRUCTURAL ENGINEER ENGAGED BY THE CONTRACTOR (OWNER). EXISTING WALL TO BE INVESTIGATED PRIOR TO CONSTRUCTION TO DETERMINE ANY IMPACTS BASED ON THE FOOTING DESIGN OF THE PROPOSED WALL AND SIGNS. CONTRACTOR OR OWNER TO CONTRACT ELECTRICAL ENGINEER TO PROVIDE ELECTRICAL DRAWINGS FOR CONSTRUCTION AND TO DETERMINE PROPOSED 	Lev # Date Revision
Shing HT E P) BW 826.83 BC 825.76 X 826.57 BW 825.25 X 826.57 BW 825.25 TW 830.12 BW 825.25 TW 830.12 TW 830.12 TW 830.12 BW 825.25 BW 825.25 TW 830.12 TW 830.12 BW 826.54 BW 826.54 BW 826.54 BW 826.54 BW 826.54 BW 826.54 BW 826.54 BW 826.54 BW 826.55 BW 826	PROPOSED, SIGN (HEIGHT OF 5' TO 9'), EXISTING FENCE TO MEET SIGN AND BE REPLACED AS REQUIRED	LIGHTING CONNECTION TO EXISTING ON-SITE CONDUIT. CONTRACTOR TO COORDINATE THE PROPOSED LIGHTING CONNECTIONS WITH ANY UTILITY CROSSINGS. 7. ELECTRICAL CONTRACTOR TO COORDINATE LIGHTING CONTROLS WITH OWNER AND IN ACCORDANCE WITH BOROUGH APPROVAL.	NG PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER DEW JERSEY LICENSE NO. 24GE05262600 ALLA RIGHTS RESERVED. COPY, REPRODUCTION OR DISTRIBUTIO OF THIS PLAN OR ANY PORTION IS PROHIBITED WITHOUT WRITTEN PERMISSION OF ROTH ENGINEERING, LLC.
OH OH OH OH OH OH PROPOSED HANGING SIGN MOUNTED LIGHT FIXTURE (TYP) × 825.54 TYPE B LIGHT FIXTURE (TYP)- TYPE B LIGHT FIXTURE (TYP)- TYPE B LIGHT HANGING SIGN MOUNTED LIGHT FIXTURE (TYP)- TYPE B LIGHT	SINGLE 6 B TROY F	LIGHTING CONTACT INFORMATION DIVERSIFIED NEW JERSEY 55 LANE ROAD FAIRFIELD, NJ 07004 CONTACT: MATTHEW STERNER (908) 907-8462 MSTERNER@DIVNJ.COM Product Code F080-1S-MO-35-9-90-FINISH-C w/ F080-LS-1-STK-12 (GROUND MOUNTED AT 1' AFG) RA10-LED1235-FINISH-2-LL23-FINISH (WALL MOUNTED AT 5' AFG) LLI-LTP5.0W-65-35K-24V-90-XX' w/ LLI-GZR-T5.0W-65-35K-WW-XX' (MOUNTED AT VARIOUS HEIGHTS)	NU CERTIFICATE OF AUTHORIZATION NO. 24GA28309800 NU CERTIFICATE OF AUTHORIZATION NO. 24GA28309800 NU CERTIFICATE OF AUTHORIZATION NO. 24GA28309800 NU CERTIFICATE OF AUTHORIZATION NO. 24GA28309800 S2 QUAL RUN, LONG VALLEY, NJ 07853 FHONE: 973-715-7427 EMAIL: MIKE@ROTHENGINEERS.COM
NOTE: 1. THE SIGHT DISTANCE TRIA 206 FOR A RIGHT TURN M EXISTING SIGHT DISTANCE TRAVEL LANE PER NJDOT MOVEMENTS WHEN EXITI TRAFFIC SIGNAL THEREFO FOR THAT DIRECTION OF T 2. EXISTING CURB LINE AND	NGLE SHOWS THE VIEW LOOKING NORTH ON ROUTE OVEMENT WHEN EXITING THE SHOPPING CENTER. EXCEEDS THE 305 FOOT REQUIREMENT FOR 40 MPH ROADWAY DESIGN MANUAL STANDARD. LEFT TURN NG THE SHOPPING CENTER ARE CONTROLLED BY THE RE THE SIGHT DISTANCE TRIANGLE IS NOT PROVIDED RAVEL. STRIPING BEYOND LIMIT OF SURVEYED FEATURES FOR IS IS TAKEN FROM 2015 NJGIN AERIAL MAPPING.		AMENDED PRELIMINARY AND FINAL MAJOR SITE PLANS FOR PROPOSED SIGNS AT THE STREETS OF CHESTER SHOPPING CENTER LAYOUT AND LIGHTING PLAN BLOCK 132, LOT 3 BLOCK 132, LOT 3 BOROUGH OF CHESTER, MORRIS COUNTY, NEW JERSEY
SIGHT DISTANCE		THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION SEE SHEET 1 OF THIS SET FOR GENERAL NOTES AND REFERENCES	PROJECT NO.: 200103 SHEET NO.: 3 OF 5

GENERAL LANDSCAPE NOTES

PLANTING:

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION. THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED
- DRAINAGE PATTERNS IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE
- ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD. 5 ALL PLANT MATERIAL SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY
- AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS
- BY SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR ENGINEER. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE
- REMOVED FROM THE SITE BY THE CONTRACTOR. 8. PLANT SUBSTITUTIONS SHALL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT RELATIVE TO SIZE, SPECIES AND VARIETY. ALL PLANT MATERIAL SHALL BE TO TRUE SPECIES, VARIETY, AND SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WRITTEN PROOF OF
- UNAVAILABLE PLANT MATERIAL MUST BE DOCUMENTED. ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
- 10. TRANSPLANTING: A. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30. B. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. C. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH
- OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND. D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED
- HEREIN F. IF TRANSPLANTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. 11. BULBS SHALL BE PLANTED IN ACCORDANCE WITH SECTION 11 OF THE ANLA STANDARDS. 12. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES
- AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE AS INDICATED ON THE DOCUMENTS. 13. ALL TREE STAKES AND WIRES WILL BE REMOVED BY THE APPLICANT AFTER ONE (1) YEAR FROM THE DATE OF INSTALLATION
- 14. VEGETATION PROPOSED AMONG EXISTING VEGETATION IS TO BE PLANTED TO AVOID DAMAGE TO THE
- EXISTING VEGETATION. 15. ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD
- NOT BE BRANCHED LOWER THAN 7' ABOVE GRADE. 16. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE
- LANDSCAPE ARCHITECT, ENGINEER, OR OWNER, 17. ALL PLANTING BEDS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOOD MULCH WITH WEED INHIBITING FABRIC BENEATH.
- 18. PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED. 19. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE MEETING OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION
- 20. ALL TREES SHALL BE GUARANTEED FOR 24 MONTHS FROM TO DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 24 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS. 21. PLANTING DATES:
- <u>FALL</u> AUGUST 15 - DECEMBER 15: EVERGREEN TREES OCTOBER 15 - DECEMBER 15: DECIDUOUS TREES

MARCH 1 - MAY 15:

ALL PLANTS

SPRING

- 2. ALL DISTURBED AREA OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODDED.
- 23. ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILIAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, BUTTED WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
- 24. ALL PLANTING BEDS ADJACENT TO LAWN AREAS (SOD OR SEEDED) SHALL BE SPADE EDGED.

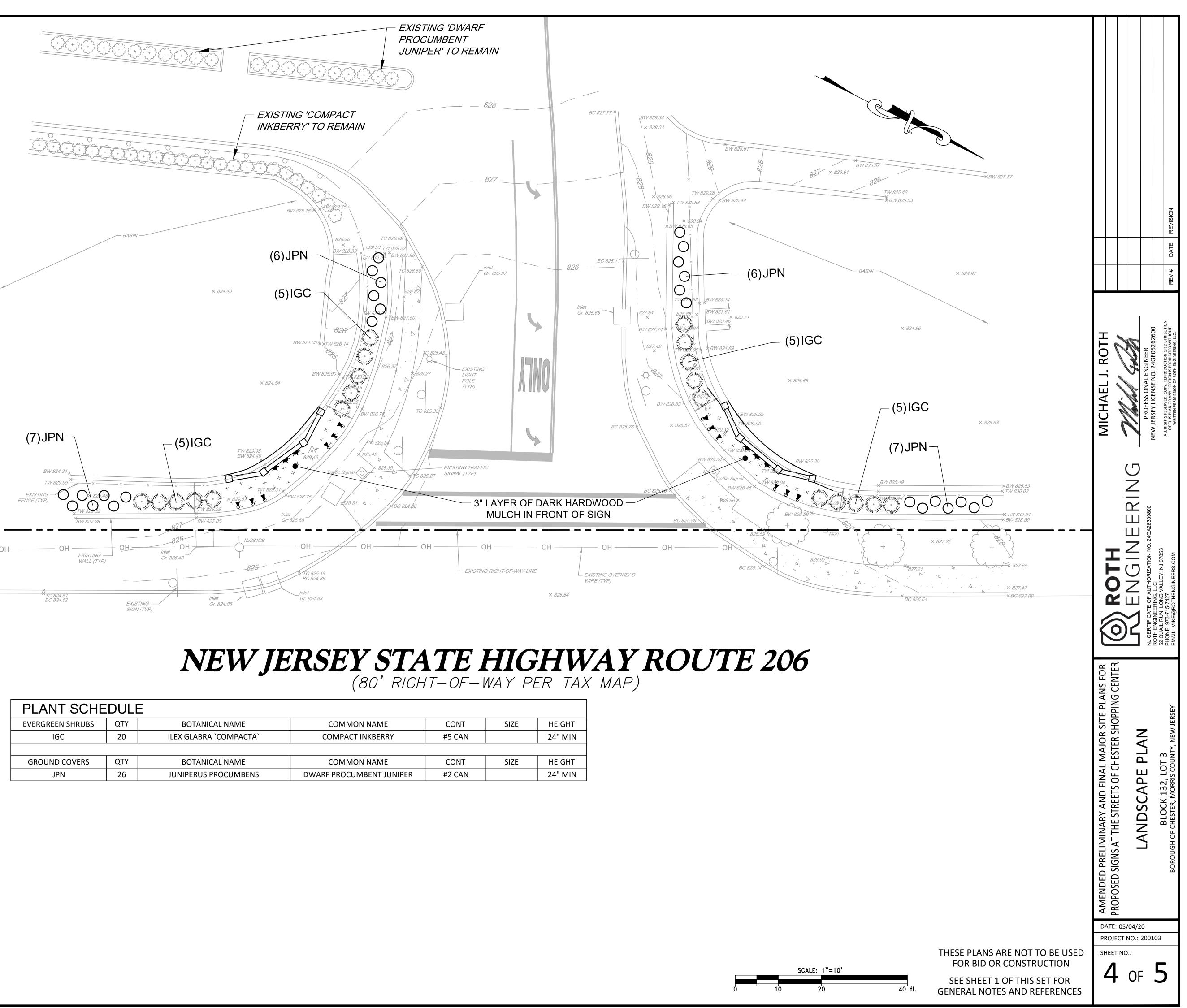
- 25. CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL TEST OF EXISTING ON SITE SOILS TO BE USED AS PART OF PLANTING BACKFILL MIXTURE.
- 26. PLANT BACKFILL MIXTURE: BACKFILL PLANT PITS WITH A MIXTURE OF TOPSOIL AND SOIL AMENDMENTS. AMENDMENTS SHALL BE ADDED AS RECOMMENDED BY CERTIFIED SOIL TEST
- 27. CONTRACTOR SHALL PROVIDE PLANTING BACKFILL MIXTURE TO PROPOSED DEPTHS AS FOLLOWS: TREES (24 INCH MINIMUM OF PLANTING BACKFILL MIXTURE). SHRUBS (18 INCH MINIMUM OF PLANTING BACKFILL MIXTURE), PERENNIALS AND GROUNDCOVER (12 INCH MINIMUM OF PLANTING BACKFILL MIXTURE
- 28. IF WET SOIL CONDITIONS EXIST THEN PLANT PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND THE ADDITIONAL AREA FILLED WITH SAND. 29. IMPORTED OR ON-SITE TOPSOIL MAY BE USED TO REFILL THE EXCAVATED AREA. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. CONTRACTOR TO MODIFY THE SOIL AS NEEDED TO MEET REQUIRED PH AND NUTRIENT LEVELS.
- 30. LAWN/LANDSCAPE RESTORATION AREAS: CONTRACTOR TO COMPLETELY REMOVE ALL UNDERLYING CONSTRUCTION MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24", INCLUDING A MINIMUM OF 6" THICK TOPSOIL.
- 31. ALL AREAS, WHICH ARE TO BE SEEDED, SHALL RECEIVE 5" OF TOPSOIL PRIOR TO SEEDING. PRIOR TO TOPSOIL PLACEMENT THE EXISTING SOIL SHALL BE RAKED CLEAN OF WEEDS, VEGETATION AND EXTRANEOUS MATERIALS SUCH AS WOOD, STONES, ROCKS, CONSTRUCTION DEBRIS, ETC, LARGER THAN TWO (2) INCHES IN ANY DIMENSION. TOPSOIL SHALL BE SANDY LOAM FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL: CONTAIN 5% ORGANIC MATTER, 6.0 TO 6.5 PH. TOPSOIL SHALL NOT BE WORKED IN MUDDY OR WET CONDITIONS.
- 32. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES AND STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND SOD PRIOR TO SUBMITTING A BID.
- 33. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDI A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY THE AMENDMENTS SHALL INCLUDE BUT NOT BELIMITED TO FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS
- 34. ALL PLANTING AREAS WITHIN EXISTING ASPHALT PAVEMENT AREAS SHALL BE DECOMPACTED A MINIMUM DEPTH OF 24 INCHES. CONTRACTOR TO REMOVE ASPHALT/BASE MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24". TAKE CARE TO NOT RIP SOIL WITHIN THE DRIP LINE OF EXISTING TREES.

COORDINATION:

- 35. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTRACTOR (WHEN / WHERE APPLICABLE) REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL. 36. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE THREE (3) DAYS PRIOR TO ANY EXCAVATION. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT UTILITIES ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 37. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.

INSTALLATION

- 38. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW. 39. DURING PLANTING OPERATIONS EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY
- REMOVED FROM THE SITE. 40. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR
- PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
- 41. M



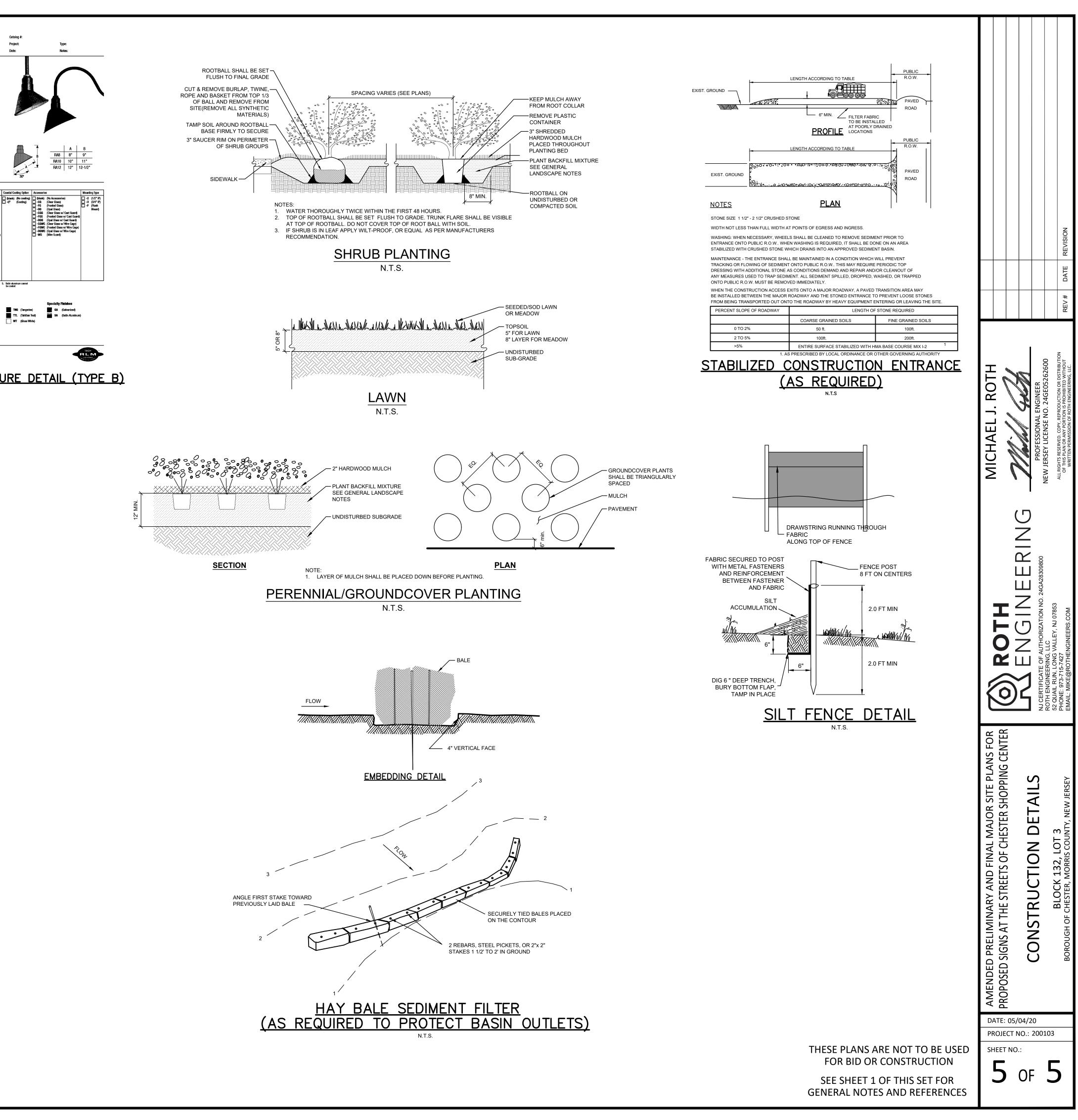


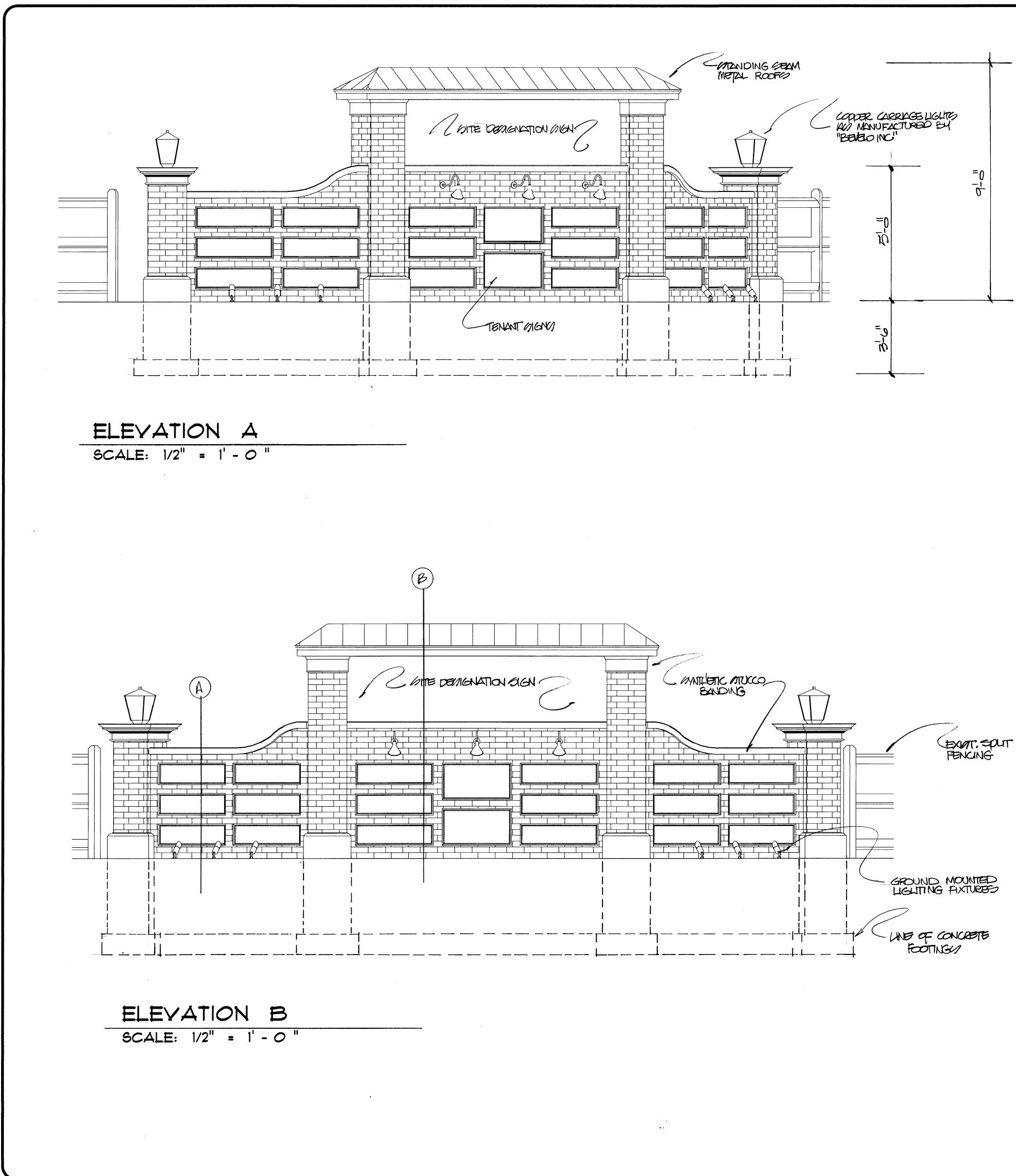
PLANT SCHE	DUL	Ε				
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT
IGC	20	ILEX GLABRA `COMPACTA`	COMPACT INKBERRY	#5 CAN		24" MIN
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT
JPN	26	JUNIPERUS PROCUMBENS	DWARF PROCUMBENT JUNIPER	#2 CAN		24" MIN



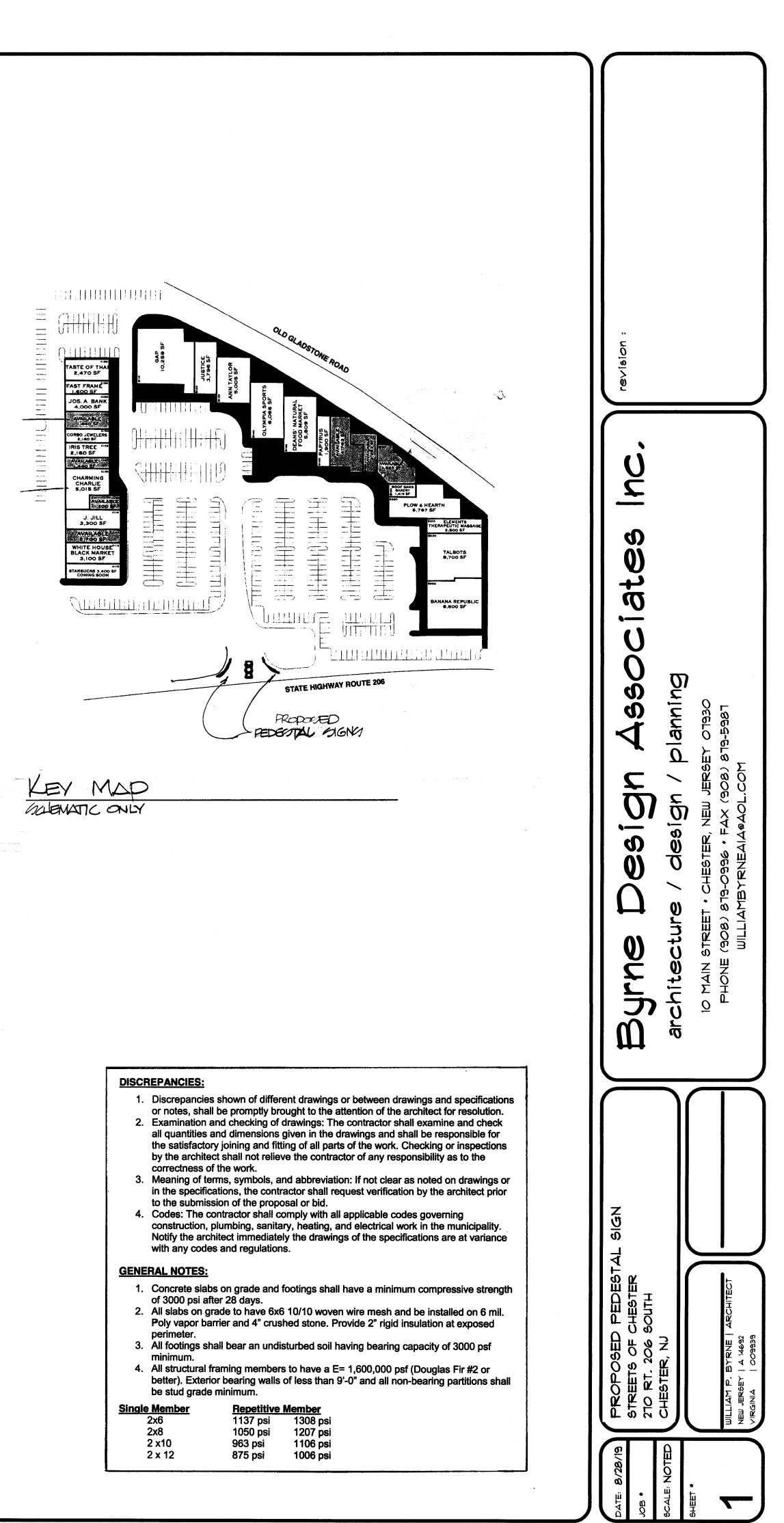
ITENANCE:
IAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90
AYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE.
IAINTENANCE INCLUDES: WATERING. PRUNING, FERTILIZING, WEEDING, MULCHING, REPLACEMENT OF
ISEASED OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE
LANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF
EQUESTED BY THE OWNER. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF
ISTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH
ND SURVIVAL OF PLANTS.

DATE PROJE			FIRM		TYPE			Electrical 120V input (2) 		
			NIRES THAT					directly into li		ost option only) re to be connected
PROVIDE EFFICIENT AND PA RISE F090 SINGLE IS A POW UP TO 1170 LUMENS, THAT C FLOODLIGHT APPLICATION FULL 120 DEGREE TILT AND	ERFUL AND COMPACT IN BE USED IN SPOT, A . ITS UNIQUE MACRO ^M	"LED LIGHT FIXTURE, ACCENT, LANDSCAPE . "LOCK FEATURE ALLC	DELIVERING AND WS FOR					 LED is dimma Mounting 	I ready for install ble with Incandescent/Tria for arms. Flush mount and	
FEATURES : • POWERFUL CBOP • EXTREMELY COMPACT				Q				available only Finishes		
 POWERFUL OUTPUT UP T- MACRO[™] LOCK - 180° TILT 12 UNIQUE BEAM ANGLES MULTIVOLT (110V-277V) 	AND 360° PAN							 Available in 2 coating to pro Inner shade is 	1 standard and 2 specialty stect finish in coastal enviro painted gloss white ry for custom finish options	onments (add "-C" t
• 8 CCTS: 2200K THROUGH • 60+ AND 90+ CRI • DIMMABLE TO 5% • IP66 RATED	500K							Optional Acces	sories Jard, Wire Cage or Wire Gu	
FIXTURE FIXTURE MODEL CONFIG.	POWER/ LUMEN OUTPUT*	CCT/ CRI COLOR	BEAM ANGLE	FINISHES ACCESSORIE	S WIRING AND MOUNTING			. .	and Canadian standards fo	or wet locations
F080 15 - Single Hea	LO - Low Dutput	22 - 2200K 8 - 80 25 - 2500K 9 - 90* 27 - 2700K X - For F	05 - Laser Spot (5°) 10 - Very Narrow Spot (10 D, 15 - Narrow Spot (15°)	K - Black X - No Accessory Z - Bronze H - Half Shoot S - Silver F - Full Shoot	A - 19" Flying Leads - Internal Cable IC; Bottom Exit: 1/2"			· M . (
	MO - Medium Output HO - High	30 - 3000K GR, BL, 35 - 3500K "90 CRI no 40 - 4000K "90 CRI no 50 - 5000K 2500K, 50 55 - 6500K and 6500P	AM 20 - Spet (20°) 40 - Fload (40°) 60 - Medium Flood (60°) 30K 70 - Wide Flood (70°)	W - White C - Custom* Specified *Provide RAL#	NPT; VL/CE Listed B* - 10' External Cable Side Exit: Surface Mount; VL Listed C* - 10' External Cable				Drder Matrix (Example: RA10LED1 mp / LED M (Medium Base, 100W n	Finish
		RD - Red GR - Green BL - Blue AM - Amber	E1 - Elliptical 1 (15°x60°) E2 - Elliptical 2 (30°x60°) E3 - Elliptical 3 (60°x15°) E4 - Elliptical 4 (60°x30°)		Bottom Exit; Surface Mount - 1/2" NPT : UL Listed D* - 10" External Cable			□ RA10 (10") □ □ RA12 (12") □	GU2413 ¹ (13W GU24 / 2700K) GU2418 ¹ (18W GU24 / 2700K) GU2426 ¹ (26W GU24 / 2700K) GU2432 ^{1,2} (32W GU24 / 2700K)	□ BB □ BK □ BLU □ DVG
		*2200K and 2500K not available in 40°, 60°, 70° and 90°			Side Exit; Surface Mount : CE Listed Et - 10' External Cable Bottom Exit; Surface Mount - 1/2" NPT; CE				GU2442 ^{1,2} (42W GU24 / 2700K) LED1227 ^{1,3,4} (12W LED / 2700K / 90 LED1230 ^{1,3,4} (12W LED / 3000K / 90 LED1235 ^{1,3,4} (12W LED / 3500K / 90	CRI / 8611m) B MB
EXAMPLE: F080-1S-LC	-22-8-05-S-X-A		:		 Listed "Will ship as A if not specified 				LED1240 ^{1,3,4} (12W LED / 3000K / 90 LED1240 ^{1,3,4} (12W LED / 4000K / 90 LED1827 ^{1,3,4} (18W LED / 2700K / 90 LED1830 ^{1,3,4} (18W LED / 3000K / 90 LED1835 ^{1,3,4} (18W LED / 3500K / 90	CRI / 889im) □ PNC CRI / 1265im) □ RD CRI / 1288im) □ SA
PERFORMANCE	4 7.5	POWER Low Output Medium Output	LUMEN OUTPUT 5° 40° 309 429 531 761	EFFICACY CBCP 5° 40° 5° 40 76 107 21,991 70 71 101 37,824 1.3	15				LED1840 ^{1,84} (18W LED / 4000K / 90	
			PLEASE SEE PHOTOMETRY SP	E5 99 53,048 14					amps must be specified, and are not inclu	
со	OR RENDERING INDEX OR CONSISTENCY EN DEPRECIATION	3-STEP WATTS	HACADAM ELLIPSE					3. 4.	lot for use in glass/cast guard/wire cage lass enclosure must be specified umen are raw LED value	
* ENERGY STAR REPORTED T	STING HOURS TO DATE	LOW MEDIUM	>60,500* >(109,000)** >60,500* >(109,000)** >60,500* >60,500* >(109,000)**	>60,500* >60,500* >(109,000)** >(109,000)** >60,500* >60,500* >(109,000)** >(109,000)**				KEY: Standard Fin ABL (Aegean E		ck) 🔄 S
CALCULATIONS FOR LED F MEASUREMENTS THAT CON PROCEDURES AND IES TM- " ESTIMATED HOURS	CALCULATOR	STING HIGH	>(103,000) >(103,000) >60,500* >36,300* >(181,000)**	>69,800)**				BB (Burnishe	i Bronze) MB (Matte Bla	Blue) Elue
NOTE: information on this Spe	uneeus subject to chang	na planne 1	alimitationa more determination	Elha monte contrato da contra				BK (Gloss Bla BLU (Blue) DVG (Dove Gra	d Bronze) MB (Matte Bla ck) MBL (Midnight I MBL (PNA (Painted N y) PNC (Painted N	atural Aluminum) 📕 S atural Copper) 📕 1
ECOSENSE LIGHTING INC. 837 NORTH SPRING STREET	P • 310.496.62 F • 310.496.62	255 SPECIFICATION VISIT ECOSENSI FOR 4 LIST OF 4	alighting.com/downloads/rise for subject to change without notice. Liketing control without notice. Liketing control the nost custom reserved attents and cost subject the source of the Unit of the source of the source of the source of the Unit of the source of the source of the source of the Unit of the source of the source of the source of the Unit of the source of the source of the source of the Unit of the source of	ATLONS, 010/	TING.COM 1/4			BK (Gloss Bla BLU (Blue) WG (Dove Gra FLG (Flannel G 9705-07021 Refeet 0778/19	d Bronze) MB (Mathe Bla ck) MBL (Midnight WPNA (Painted N PNA (Painted N ray) RD (Painted N RD (Red) of Industry, CA 91744 • tel: 626.33	atural Aluminum) atural Copper) 6.4511 • fax: 626.330.42
BJ7 NORTH SPRING STREET SUITE 103 LOS ANGELES, CA 90012	F - 310.496.52 T - 355.62.67 SS5.6.ECO	255 SPECTRATION 256 SPECTRATION 738 SEN ENANCES SEN ENANCES NTEED	CIFICATION CARACTERISTICS AND	eligne. eligne logama extense ligh		<u>A)</u>	<u>SIGN</u>	BK (Gloss Bill BLU (Stue) WG (Dove Gra FLG (Flennel Of PTC-WCT Innel Of Chris 14508 Nelson Avec. Di 42019 Troy-RLM Ligh All rights reserved. Sub	I Bronze) MB (Matte Bla ck) MBL (Midnight I PNA (Painted N y) PNC (Painted N ray) RD (Red)	atural Aluminum) 1 atural Copper) 1 6.4511 • fac: 626.330.42 c.
BY NORTH SPRING STREET COS ANGELES, CA 90012	F - 310.496.22 T - 355.62.27 SS.6.22.67 SS.6.27 SS.6.22.67 SS.6.22.67 SS.6.22.67 SS.6.27 SS.6.	255 SPECTRATION 256 SPECTRATION 738 SEN ENANCES SEN ENANCES NTEED	CUPULICATION CONTRACTOR CONTRACTO	ECOSENSELIGH		A)	SIGN	BK (Gloss Bill BLU (Stue) WG (Dove Gra FLG (Flennel Of PTC-WCT Innel Of Chris 14508 Nelson Avec. Di 42019 Troy-RLM Ligh All rights reserved. Sub	d Bronze) d Bronze) MBL (Midnight I MBL (Midnight I M	atural Auminum) atural Copper) atura
BY NORTH SPRING STREET COS ANGELES, CA 90012 COS ANGELES, CA 90012	F - 310.496.52 T - 355.62.67 SS.62.67 SS.6.62.67 SS.6.67 SS.67	255 256 738 SEIN NTED SEIN SITES SIN SITES SIN SITES SIN SITES SIN SITES SIN SITES SIN SITES SIN SIN SIN SIN SIN SIN SIN SIN SIN SI	ADDRESS TO	ECOSENSELIGH		_A)	SIGN	BK (Gloss Bill BLU (Stue) WG (Dove Gra FLG (Flennel Of PTC-WCT Innel Of Chris 14508 Nelson Avec. Di 42019 Troy-RLM Ligh All rights reserved. Sub	d Bronze) d Bronze) MBL (Midnight I MBL (Midnight I M	atural Aluminum) 1 atural Copper) 1 6.4511 • fac: 626.330.42 c.
BJT NORTH SPRING STREET LOS ANGELES, CA 90012 CREADING CONTRACTOR STICENTICAL	F - 310.496.52 T - 355.62.67 SS.62.67 SS.6.6207 SS.	255 256 358 358 NTED SPEN SPEN SPEN SPEN SPEN SPEN SPEN SPEN	Connector c Not compatible	ECOSENSELIGH			SIGN	BK (Gloss Bill BLU (Stue) WG (Dove Gra FLG (Flennel Of PTC-WCT Innel Of Chris 14508 Nelson Avec. Di 42019 Troy-RLM Ligh All rights reserved. Sub	d Bronze) d Bronze) MBL (Midnight I MBL (Midnight I M	atural Aluminum) 1 atural Copper) 1 6.4511 • fac: 626.330.42 c.
S37 NORTH SPRING STREET SUITE 103 LOS ANGELES, CA 90012	F • 310.496.52 T • 355.62.67 SS.62.67 955.6.620 MOULN TURAL LIGHTING CH 5.00W I Solution Solution </td <td>SEIN SERVICES SPECIAL CONTRACTOR /td> <td>Connectors Recommende Recommend Recommende Recommende Recommende Recomm</td> <td>ECOSENSELIGH</td> <td>Terret to specification yracted to specification</td> <td>NOTES: 1. STRIP</td> <td>/TAPE LIGF</td> <td></td> <td>d Bronze) d Bronze) MBL (Midnight I MBL (Midnight I M</td> <td>atural Aluminum) atural Copper) 6.4511 • fax: 626.330.42 </td>	SEIN SERVICES SPECIAL CONTRACTOR	Connectors Recommende Recommend Recommende Recommende Recommende Recomm	ECOSENSELIGH	Terret to specification yracted to specification	NOTES: 1. STRIP	/TAPE LIGF		d Bronze) d Bronze) MBL (Midnight I MBL (Midnight I M	atural Aluminum) atural Copper) 6.4511 • fax: 626.330.42
BJT NORTH SPRING STREET COS ANGELES, CA 90012 COS ANGELES, CA 90012 CONTRACTOR CONTRAC	F - 310.496.52 T - 355.62.67 SS.67 SS.67	255 PERFORMANCE 256 PERFORMANCE 257 PERFORMANCE NTED PER Data Data ILED TAP PER Imm x 2.0mm) PER Properties PER Imm x 2.0mm) PER 24VDC power supplies - n of website PER	Connectors Recommende Recommend Recommende Recommende Recommende Recomm	ECOSENSELIGH	Terret to specification yracted to specification	NOTES: 1. STRIP MOUN GRAZ	/TAPE LIGH TED INSIDE ER CHANNE	BK (Goos Br BUU (Blue) Pro Correction 2000 Find Correction 2000 Find Correction 2001 Find Cor	d Bronze) d Bronze) MBL (Midnight I MBL (Midnight I M	atural Aluminum) 1 atural Copper) 1 6:4511 • fax: 626:330.42 c.
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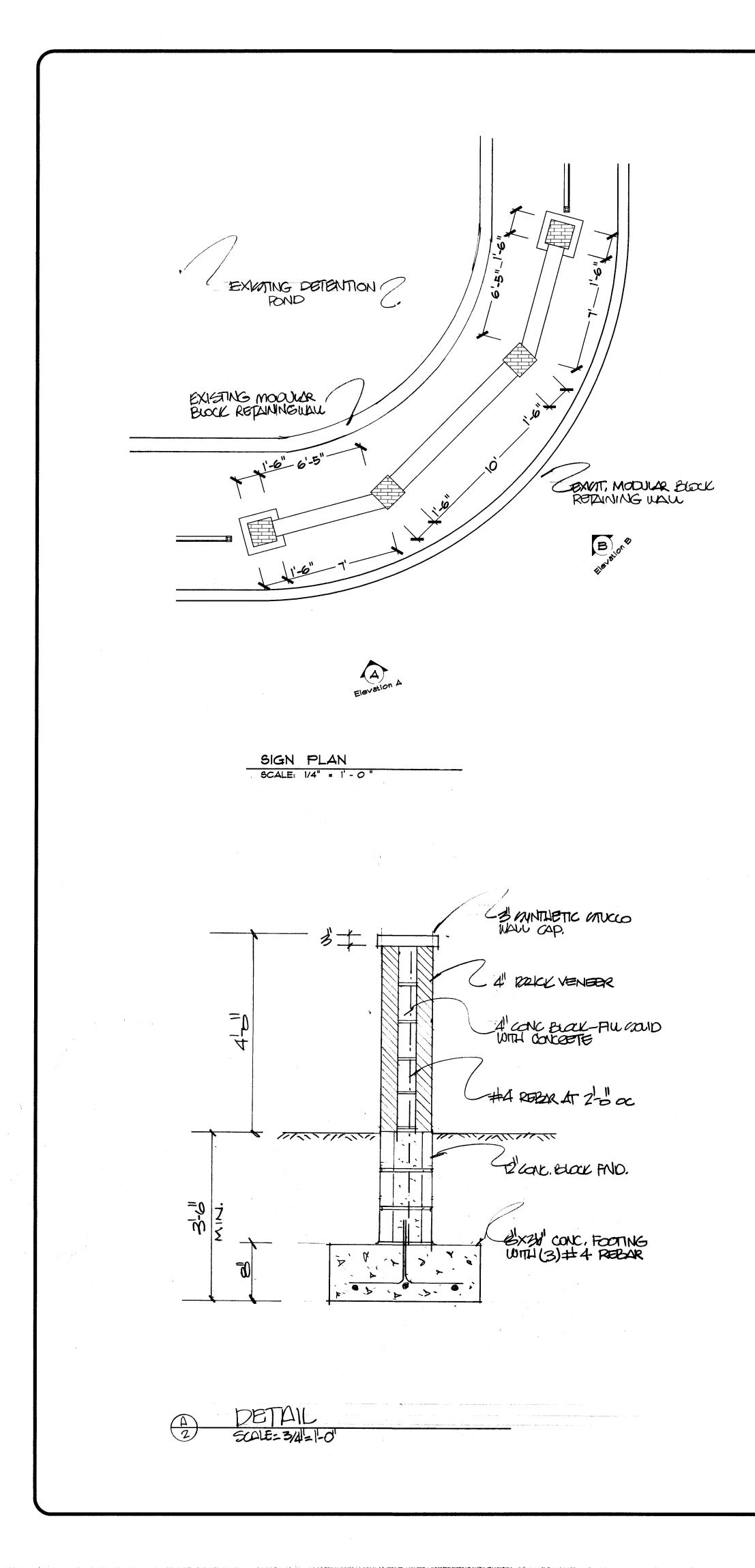


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